



# City of San Marcos

630 East Hopkins  
San Marcos, TX 78666

## Regular Meeting Agenda Planning and Zoning Commission

---

Tuesday, February 28, 2023

6:00 PM

City Council Chambers

---

630 E. Hopkins St.

This will be a hybrid (in-person/virtual meeting). To view the meeting please go to <http://www.sanmarcostx.gov/541/PZ-Video-Archives> or watch on Grande channel 16.

### EXECUTIVE SESSION

*NOTE: Pursuant to Chapter 551 of the Texas Government Code, the Planning and Zoning Commission may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made of the basis for the Executive Session discussion. The Planning and Zoning Commission may also publicly discuss any item listed on the agenda for Executive Session.*

#### I. Call To Order

#### II. Roll Call

#### III. Chairperson's Opening Remarks

#### IV. 30 Minute Citizen Comment Period

*Persons wishing to comment during the Citizen Comment Period must submit their written comments or requests to speak to [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov) no later than 12:00 p.m. on the day of the meeting. Please indicate if you would like to speak in person or virtually. A link to join by phone, mobile device, laptop or desktop will be sent. Timely submitted written comments will be provided to the Commission prior to the meeting. Comments shall have a time limit of three minutes each.*

### PRESENTATIONS

1. Receive a staff presentation of the FY 2023 Capital Improvement Program (CIP).
2. Receive a staff presentation and hold a discussion on a request by Eckermann Engineering, Inc on behalf of the McCoy Corporation to remove two proposed Thoroughfares in the City's Thoroughfare Plan generally located between Davis Lane, McCoy Circle and River Rd. (J. Cleary)

### PUBLIC HEARINGS

*Interested persons may join and participate in any of the Public Hearing items (3-5) by:*

- 1) Sending written comments, to be provided to the Commission in advance of the meeting\*; or
- 2) Requesting a link to speak during the public hearing portion of the virtual meeting, including which item you wish to speak on\*.
- 3) Attending the meeting in person in the Council Chambers

*\*Written comments or requests to join in a public hearing must be sent to [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov) no later than 12:00 p.m. on the day of the hearing. Comments shall have a time limit of three minutes each. To view the meeting please go to <http://sanmarcostx.gov/541/PZ-Video-Archives> to view the live stream, or watch on Grande Channel 16. For additional information on making comments during the Public Hearings please visit <http://www.sanmarcostx.gov/3103/Citizen-Comments-Hybrid-Meetings>*

3. CUP-23-04 (McCoy Special Event Center) Hold a public hearing and consider a request by Eckermann Engineering, on behalf of McCoy Corporation, for a Conditional Use Permit to allow a Special Event Facility, located near 1200 Davis Lane, and also described as an approximate 18.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an unplatted 2.81-acre lot described in document to McCoy Corporation, recorded in document No. 21040130, and a portion of Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North (C. Garrison)
4. Hold a public hearing and consider a recommendation on the "San Marcos Downtown Area Plan".
5. Hold a public hearing and consider a recommendation on the "Vision SMTX Comprehensive Plan" and the Preferred Scenario Map.

#### V. Question and Answer Session with Press and Public.

*This is an opportunity for the Press and Public to ask questions related to items on this agenda.*

#### VI. Adjournment

#### Notice of Assistance at the Public Meetings

*The City of San Marcos does not discriminate on the basis of disability in the admission or access to its services, programs, or activities. Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos ADA Coordinator at 512-393-8000 (voice) or call Texas Relay Service (TRS) by dialing 7-1-1. Requests can also be faxed to 512-393-8074 or sent by e-mail to [ADArequest@sanmarcostx.gov](mailto:ADArequest@sanmarcostx.gov)*

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed by me from the City Hall bulletin board on the \_\_\_\_\_ day of \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
Title:





## Legislation Text

---

**File #:** CIP-P&Z(1), **Version:** 1

---

**AGENDA CAPTION:**

Receive a staff presentation on the FY 2023 Capital Improvement Program (CIP).

**Meeting date:** February 28, 2023

**Department:** Engineering & Capital Improvement

**Amount & Source of Funding**

**Funds Required:** Click or tap here to enter text.

**Account Number:** Click or tap here to enter text.

**Funds Available:** Click or tap here to enter text.

**Account Name:** Click or tap here to enter text.

**Fiscal Note:**

**Prior Council Action:** Click or tap here to enter text.

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

Choose an item.

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

- ☒ Economic Development - Choose an item.
- ☒ Environment & Resource Protection - Choose an item.
- ☒ Land Use - Choose an item.
- ☒ Neighborhoods & Housing - Choose an item.
- ☒ Parks, Public Spaces & Facilities - Choose an item.
- ☒ Transportation - Choose an item.
- ☒ Core Services
- ☐ Not Applicable

**Master Plan:** [Please select the corresponding Master Plan from the dropdown menu below (if applicable)]

Choose an item.

**Background Information:**

February 28, 2023 - Presentation to the Planning and Zoning Commission to discuss process

March 28, 2023 - Public Hearing and Planning and Zoning Commission Discussion

April 11, 2023 - Receive recommendation from the Planning and Zoning Commission

**To view the most current CIP:**

[<http://www.sanmarcostx.gov/366/10-Year-Capital-Improvements-Plan>](http://www.sanmarcostx.gov/366/10-Year-Capital-Improvements-Plan)

**Council Committee, Board/Commission Action:**

Click or tap here to enter text.

**Alternatives:**

Click or tap here to enter text.

**Recommendation:**



# City of San Marcos

## Planning and Zoning Commission

Feb 28<sup>th</sup>, 2023

[sanmarcostx.gov](http://sanmarcostx.gov)



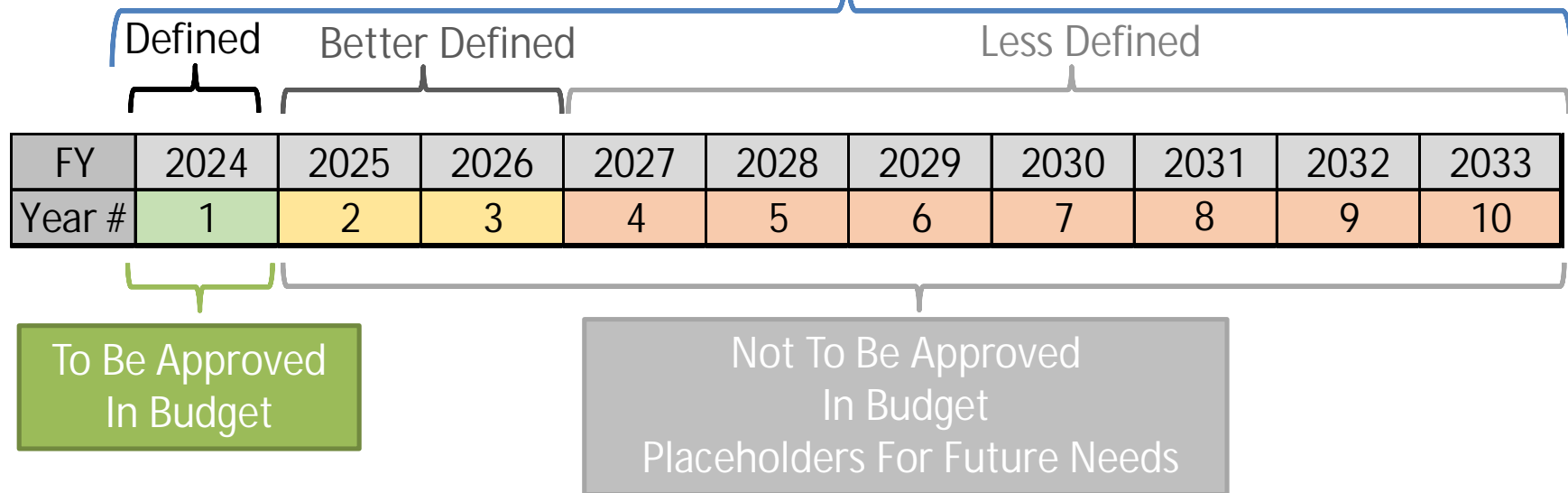
## Capital Improvements Program

- Long-range plan and schedule for capital projects and system assets
  - Identifies workload for Departments
  - Identifies funding needs for City
- Identifies options for financing projects
- Planning Tool
  - Year 1 is only year approved in budget
  - Years 2-10 placeholders for planning purposes



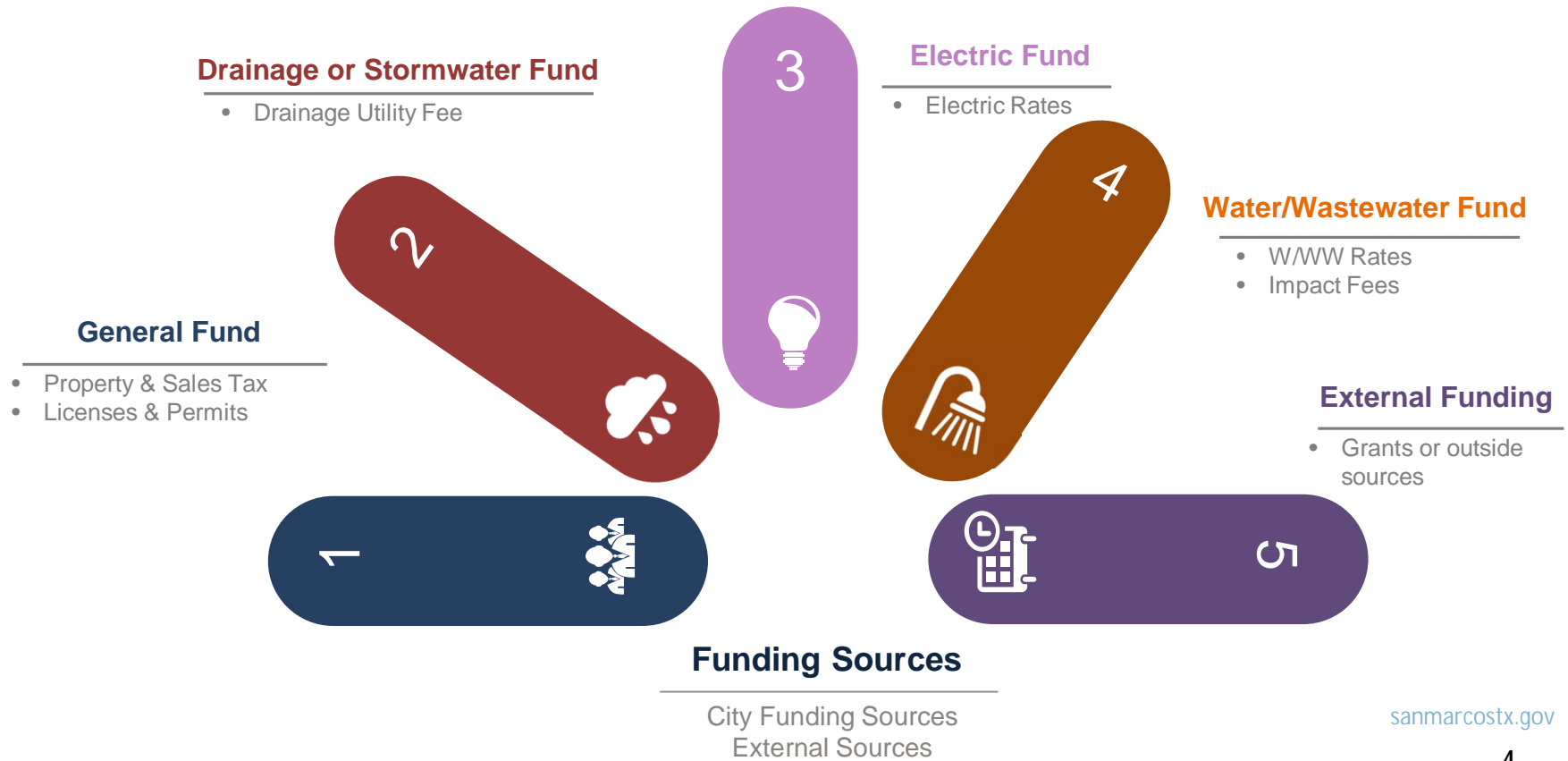
# Capital Improvements Program Years

10 Year CIP: FY 2024-2033





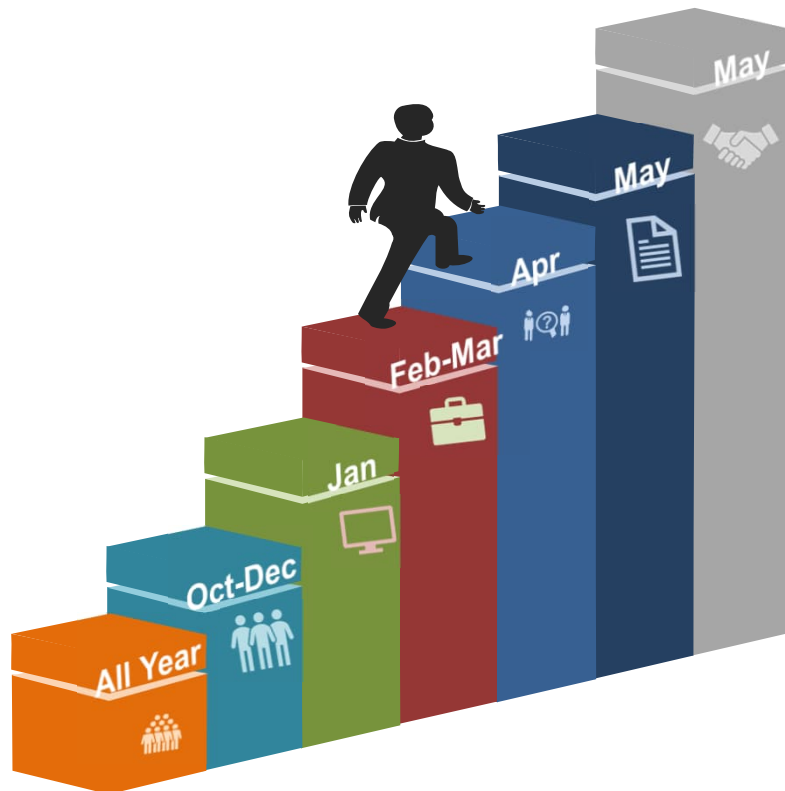
# Capital Improvements Program Funding



[sanmarcostx.gov](http://sanmarcostx.gov)



# FY 24 CIP Process – Where are we?



## **New Projects: All Year**

Departments Submit New Project Requests



## **Department Review: Oct-Dec**

All Departments Review Comprehensive List of Projects



## **Workload Capacity: Jan**

Projects reviewed for timeline and workload capacity



## **Fund Constraints: Feb-Mar**

General at \$10M & Stormwater at \$6M

## **P&Z Review: Apr**

Discussion with P&Z Commission & Public Hearing

## **P&Z Recommendation: May**

Receive P&Z Recommendation for City Council

## **Recommendation to Council: May**

Present City Council with P&Z Recommendation

[sanmarcostx.gov](http://sanmarcostx.gov)



# Role of P&Z In Capital Improvement Program

- Established in Charter
- “Submit annually to the city council, not less than one hundred and twenty days prior to the beginning of the fiscal year, a list of recommended capital improvements found necessary or desirable.”
- Review CIP Documents – Provided to P&Z Today
- Discussion & Public Hearing – Mar 28<sup>th</sup>
- Provide recommendation – Apr 11<sup>th</sup>





# Understanding the Spreadsheet

Category	Project ID	Project Name	Project Description	Comp Plan Goals	Strategic Initiative	Prioritization Rank	Funding Source	Previously Approved Funding	2023	2024	2025	2026	2027
*Potential 2024 Bond Projects													
*Potential TIRZ Funding Projects													
Multi	606	Airport - FM 110 Connection Drive	New Roadway to connect the airport to FM 110. Include Airport Drive Improvements in this project. Will also support development on west side of FM110 on airport property. Supplemental funding may come from other sources regarding the land release and negotiations with Gary Job Corp.	EDG602, EDG603		30	General	\$ 250,000		\$ 600,000			
							Water			\$ 300,000			
Multi	524	Airport - Taxiway System, Ramp Rehab Design	Various analysis in 2013, 2015, and 2017 indicate failure of pavement on taxiways Alpha through Foxtrot. The City will initiate design for taxiways Alpha and Charlie as the priority, to be ready for construction when discretionary funds become available. Discretionary funding is pending for Txy Charlie in FY22 (10% local match required) and for Txy Alpha in FY23	EDG601 EDG602 EDG603 EDG604		40	General	\$ 1,274,000	\$ 1,100,000				
							Stormwater	\$ 15,000					
Multi	568	Airport Water/Wastewater Main Re-routing	Construct new 10-inch/12-inch wastewater mains, to convey municipal airport flows into the existing City owned 18-inch wastewater main near the railroad. WWMP#19. Rerouting of existing services from airport facilities are included to facilitate future development and replacing aging service lines. <u>Extend 12" water main from dead end at the Airport</u>	LUG105	Workforce Development	25	Water			\$ 250,000		\$ 1,600,000	
							Wastewater			\$ 650,000		\$ 2,500,000	
Multi	507	Airport - Utilities & Stormwater Imps	Extension of utilities and stormwater improvements from the Airport entrance to the ILS of runway 13, to provide for development sites on the north side development area. Waterlines are within the airport property and are separate connections to the 12" waterline constructed in project	LUG105 EDG601 EDG602 EDG603	Stormwater	10	Water						\$ 140,000
							Wastewater						\$ 200,000
							Stormwater						\$ 140,000

Grouped by Category  
Multi = projects with more than one funding source.

Supporting Strategic Initiatives, Comp Plan Goals & Prioritization Ranking  
  
\*\*Ranking has been revised, 1-10 Scale

Shows funding needed by Source and Year



# Understanding the Spreadsheet

Category	Project ID	Project Name	Project Description	Comp Plan Goal	Strategic Initiative	Prioritization Rank	Funding Source	Previously Approved Funding	2023	2024
Multi	752	Downtown Alley Reconstruction Ph 2	Reconstruct the remaining Kissing Alley between Guadalupe and LBJ from Hutchison to University Dr, approx. 400 LF. The alley will be constructed in 2027, with possible concrete pavement. All utilities will be replaced and overhead electric and telecom will be converted to underground along Kissing Alley between Hutchison and University Dr including UG conversion of existing overhead electric and telecom.	EDG105 TG205	Downtown Vitalization, Stormwater	20	General T			
							Water			
							Wastewater			
							Electric			
Multi	45	Downtown Reconstruction Ph. II - LBJ Grove St. to Hopkins	Reconstruction to implement goals of Downtown Master Plan. Includes street, stormwater, water, wastewater, underground electric and telecom \$200k/STM (included in electric funding) as required. Design funds in first year, Construction funds in second year. Proj # 3T -	LUG105 LUG203	Downtown Vitalization, Stormwater, Multi-Modal Transportation	20	General T			
							Water			
							Wastewater			
							Electric			
Multi	691	Heritage Neighborhood Imps	Improvements on Viola, Serur, Browne, Burleson, Scott, Blanco, Rogers and Lindsey Streets. Replacement of old inadequate water lines to improve flows, system pressure and fire protection. Replacement AC and cast iron pipes, non-operational valves and upgrade fire	ERPG204 ERPG101 LUG302	Stormwater	25	General			
							Water			
							Wastewater			
							Electric			
Multi	719	Hopkins Drainage and Wastewater Imps from Riverside to City Hall	Stormwater improvements per DMP# 40 and replace 6" sanitary sewer crossing with 8" at Hopkins and Riverside. Street lighting will be replaced along the drainage ditch and a 10ft sidewalk will be installed.	LUG105	Stormwater, Multi-Modal Transportation	30	General			\$ 200,000
							Wastewater			\$ 20,000
							Stormwater			\$ 60,000
							Electric			\$ 100,000
Multi	594	Hopkins Street Improvements Project from Moore to Guadalupe	Reconstruct street, water, wastewater, stormwater and electric infrastructure pursuant with complete streets ordinance on Hopkins Street from Moore St. to Guadalupe. Widen Comanche Street to add a dedicated Left turn lane onto Hopkins St. to improve safety and intersection capacity to alleviate the	ERGP204 ERGP306 LUG105	Stormwater, Multi-Modal Transportation	30	General B	\$ 350,000		
							Water	\$ 130,000		
							Wastewater	\$ 130,000		
							Electric	\$ 450,000		
Multi	555	Highway 80 Utility Project	This project consists of constructing a new lift station with an initial firm pumping capacity of 1.25 MGD and a wet well capacity to handle the 2035 peak flow of 5.0 MGD. The proposed lift station will be located at Highway 80 and CR 102 and includes a 12-inch force main that discharges directly to the existing wastewater		Workforce Development	35	Water I	\$ 250,000	\$ 250,000	\$ 3,000,000
							Wastewater I	\$ 6,000,000		\$ 18,000,000

Brown Highlight  
TIRZ Funding

White Highlight  
Means Nothing

Gray Highlight  
Means Nothing

Blue Highlight  
Potential Future Bond Projects

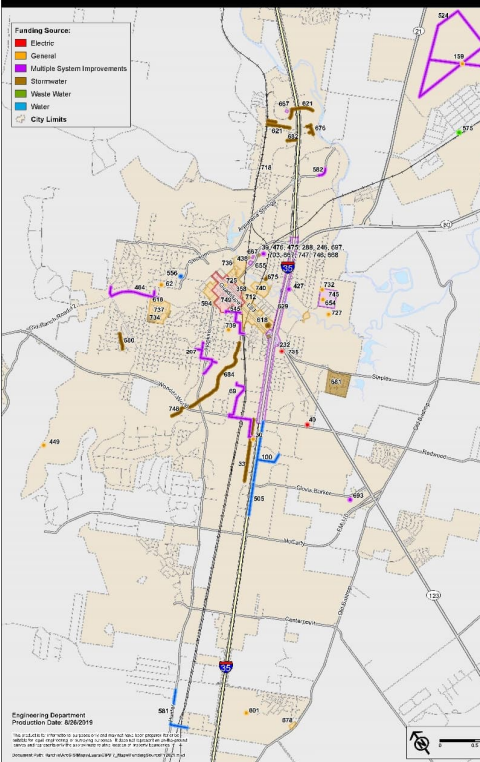
Pink Highlight  
Impact Fee Eligible

sanmarcostx.gov



# Binders - Yearly Tabs

## FY 2021 CAPITAL IMPROVEMENT PROJECT FUNDING SOURCES



FY 2021 CIP Project List

R/26

Project ID	Project Name	Funding Source	Previously Approved Funding	2020	2021	2022
32	Public Safety Mobile Video Technology	General		\$	\$ 400,000	
33	Compasswood Creek Restoration Study	Commuter	\$ 250,000	\$	\$ 5,000,000	
39	Disaster Recovery Infrastructure	General	\$ 165,000	\$	\$ 165,000	
40	Disaster Recovery Infrastructure	Stormwater	\$ 165,000	\$	\$ 165,000	
42	Disaster Recovery Infrastructure	Electric	\$ 165,000	\$	\$ 165,000	
43	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
44	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
45	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
46	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
47	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
48	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
49	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
50	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
51	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
52	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
53	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
54	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
55	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
56	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
57	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
58	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
59	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
60	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
61	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
62	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
63	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
64	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
65	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
66	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
67	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
68	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
69	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
70	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
71	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
72	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
73	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
74	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
75	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
76	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
77	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
78	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
79	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
80	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
81	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
82	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
83	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
84	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
85	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
86	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
87	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
88	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
89	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
90	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
91	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
92	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
93	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
94	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
95	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
96	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
97	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
98	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
99	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792
100	Disaster Recovery Infrastructure	General	\$ 1,048,779	\$ 479,247	\$ 485,841	\$ 401,792

### 10 Year Capital Improvement Program Projects

#### Wastewater

East IH 35 WW Oversize

Project ID 59

Participate in the oversize of wastewater extensions with proposed developments such as Trace and Gas Lamp, east side of IH 35 to Old Bastrop Hwy. Funds will come from Impact Fees.

Department Responsible for project: Engineering-CIP

Estimated Project Cost: \$400,000.00

Strategic Initiatives:

Year	General	Water	WW	Stormwater	Electric	Total for FY
2020			\$400,000			\$400,000
Total			\$400,000			\$400,000

PROJECT PRIORITIZATION RANK

Strategic Initiative	0
Federal/State Mandate	0
External Funding	10
Public Health/Safety	0
Project Underway/Prev. App	0
Multi Fund	0
Operational Necessity	0
Total Rank	10

Monday, April 1, 2019

Recommended Projects



# Next Steps

Mar 28<sup>th</sup> - Public Hearing & Discussion Item

Apr 11<sup>th</sup> – P&Z Action on Recommendation to City Council

May 16<sup>th</sup> – City Council Receives P&Z Recommendation

May - Aug – City Council Budget Workshops

Sept - Budget Adoption by City Council including the FY24 CIP Projects



## Legislation Text

---

**File #:** TMP-23-01, **Version:** 1

---

**AGENDA CAPTION:**

Receive a staff presentation and hold a discussion on a request by Eckermann Engineering, Inc on behalf of the McCoy Corporation to remove two proposed Thoroughfares in the City's Thoroughfare Plan generally located between Davis Lane, McCoy Circle and River Rd. (J. Cleary)

**Meeting date:** February 28, 2023

**Department:** Planning and Development Services

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** N/A

**City Council Strategic Initiative:** [Please select from the dropdown menu below]

N/A

N/A

N/A

**Comprehensive Plan Element (s):** [Please select the Plan element(s) and Goal # from dropdown menu below]

☐ Economic Development - Choose an item.

☐ Environment & Resource Protection - Choose an item.

☐ Land Use - Choose an item.

☐ Neighborhoods & Housing - Choose an item.

☐ Parks, Public Spaces & Facilities - Choose an item.

☒ Transportation - Safe, Well coordinated transportation system implemented in an environmentally sensitive manner

☐ Core Services

☐ Not Applicable

**Master Plan:** *[Please select the corresponding Master Plan from the dropdown menu below (if applicable)]*

Transportation Master Plan

**Background Information:**

The City of San Marcos Transportation Master Plan was adopted in 2018 and can be viewed online at <https://sanmarcostx.gov/339/Transportation-Master-Plan-Appendices>. The Transportation Master Plan contains a Thoroughfare Plan (Appendix D) and a Bicycle Plan (Appendix E) which new developments are required to incorporate into their site development at the time of platting.

The applicant (McCoys) is proposing to construct a Retreat/ Special Event Center (CUP-23-04), and as part of this they are requesting to remove two segments from the Thoroughfare Plan and Bicycle Plan which would partially run through their property. The first segment is a proposed Avenue with 100' of Right of Way between Davis Lane and River Rd which crosses the railroad tracks. This road is part of a thoroughfare which extends to Uhland Rd to the north. The second Thoroughfare segment is a proposed "Street" with 90' Right of Way which would connect the first segment described above to the I-35 Frontage Rd via the stub out of McCoy Circle.

Both segments contain bike facilities and are also included on the Bicycle Plan. It should be noted that the site is zoned "FD" Future Development which has no block perimeter requirement under Chapter 3, Section 6 of the Land Development Code meaning no additional bike or roadway infrastructure will be required within the site if the proposed Thoroughfares are removed.

The process for amending the Transportation Master Plan includes informational meetings and additional public hearings at City Council. This meeting is for informational / discussion purposes only - a subsequent Public Hearing at the Planning and Zoning Commission will take place on March 28<sup>th</sup>.

**Council Committee, Board/Commission Action:**

N/A

**Alternatives:**

Click or tap here to enter text.

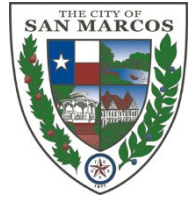
**Recommendation:**

N/A - item is for discussion only.

# AMENDMENT TO APPROVED MASTER PLAN APPLICATION

Updated: September, 2020

Master Plan to Amend Transportation



## CONTACT INFORMATION

Applicant's Name	Sam Walker, P.E.	Property Owner	Chet Lange
Company	Eckermann Engineering, Inc.	Company	McCoy Corporation
Applicant's Mailing Address	P.O. Box 388 Lampasas, TX 76550	Owner's Mailing Address	1350 IH 35 North San Marcos, TX 78667
Applicant's Phone #	512-556-8160	Owner's Phone #	512-395-6644
Applicant's Email	sam@eckermannengineering.com	Owner's Email	chet.lange@mccoys.com

## PROPERTY INFORMATION

Subject Property Address(es): 1200 Davis Lane, San Marcos, TX 78666

Legal Description: Lot 2 Block A Subdivision McCoy Office Subdivision

Total Acreage: 25.65 Tax ID #: R 126548, R143267, R12019

Preferred Scenario Designation: No Future Roadway Extension Existing Use of Property: Undeveloped

## DESCRIPTION OF REQUEST

Transportation Master Plan Amendment to remove the extension of McCoy Drive from McCoy Circle to Davis Lane  
and the removal of a future avenue from River Road across the subject property to Davis Lane.

## AUTHORIZATION

*By submitting this digital application, I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

Filing Fee \$317      Technology Fee \$13      MAXIMUM COST \$330

Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.

**EMAIL [PLANNINGINFO@SANMARCOSTX.GOV](mailto:PLANNINGINFO@SANMARCOSTX.GOV) TO APPLY**





January 19, 2023

Richard Reynosa, P.E., CFM  
Assistant Director of Engineering  
Capital Improvements/Engineering  
630 East Hopkins  
San Marcos, TX 78666

**Re:   *Transportation Master Plan Amendment Summary Letter  
McCoy Retreat Center  
San Marcos, Texas***

Dear Mr. Reynosa:

Please accept this summary letter to support an application to amend the Transportation Master Plan (TMP) approved in 2018, for the proposed McCoy Corporation Retreat Center located at 1200 Davis Lane in San Marcos, Texas. The proposed Retreat Center is anticipated to include a +/-11,300 square foot training/special event center, associated parking, and ancillary improvements to support the development. The project is bordered to the north by the McCoy Corporation office building, the east by Davis Lane, the west by a manufactured home development and undeveloped land, and the south by the M. K. & T. Railroad right-of-way. The subject property consists of an approximate 25.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an un-platted 2.8-acre lot, and Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North. The three tracts are intended to be platted into one or two lots under a separate subdivision application.

The Retreat Center is intended to be used for corporate training and special events hosted by the McCoy Corporation including company celebrations, and other similar private gatherings. The Retreat Center will provide not only a facility to house events but will incorporate outdoor natural areas such as trails, a fishing pond, and open space meadows to allow visitors to enjoy the natural beauty of the San Marcos. In order to create this outdoor rural atmosphere we respectfully request that the two proposed roadways identified on the City's Transportation Master Plan (TMP), be removed from the map and not required.

The TMP currently shows a Street extension through the heart of the site's oak groves that would connect McCoy Circle and the adjacent hotel development to Davis Lane. Additionally, the plan proposes a new Avenue that would run along the south side of the McCoy Office Subdivision Lot 2 connecting River Road to the south of the railroad to Davis Lane. The extension and locations of these proposed roadways would be in conflict with the intent of the proposed Retreat development. The new roads would further develop and pave over the natural landscape eliminating the private rural atmosphere of the subject





Mr. Richard Reynosa, January 19, 2023, page 2

property. Lastly, given the location of the railroad to the south of the property and the current ownership of most of the properties within this area by McCoy Corporation, we believe that any additional connectivity provided by these roadways would be very limited.

In summary, we respectfully request that the City amend the Transportation Master Plan to eliminate the proposed Street and Avenue extensions. Upon approval, our team will work closely with City Staff to comply with applicable codes and regulations for the subdivision and design of the project. If you should have any questions regarding this application or need additional information regarding the McCoy Retreat Center development, please feel free to contact us at 512-556-8160.

Sincerely,

ECKERMANN ENGINEERING, INC.

A handwritten signature in blue ink that reads 'Sam Walker'.

Sam N. Walker, P.E.  
Vice President









Attachments: Master Plan Amendment Application  
Transportation Master Plan Amended Map  
Application Fee



## MAP 15: PROPOSED 2035 THOROUGHFARE PLAN






**Legend****City Features**

-  City Limits
-  River/Creek
-  Texas State University
-  Railroad
-  Existing Trail
-  Major Creek

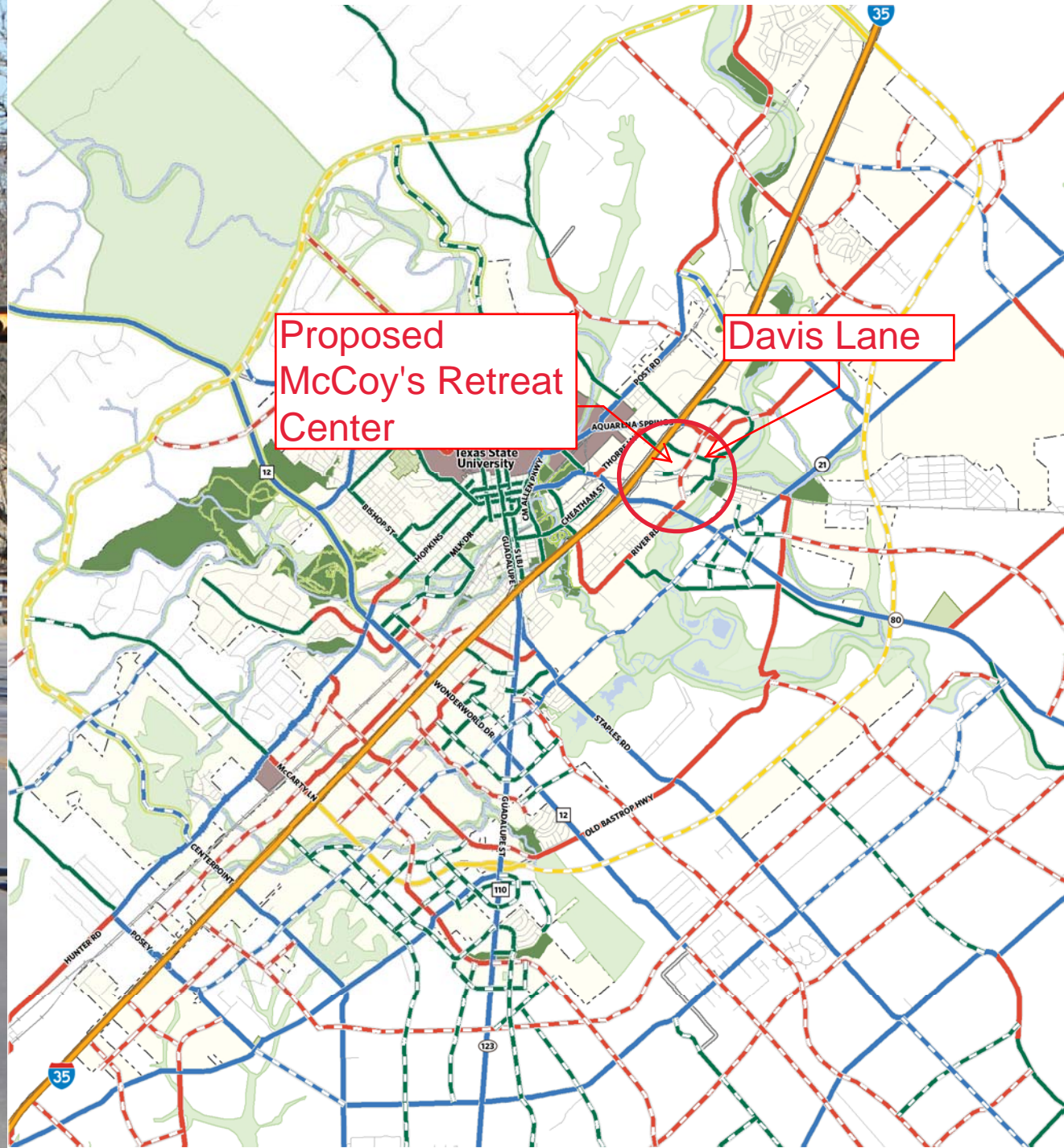
**Thoroughfare Plan****Enhanced Facility**

-  Boulevard
-  Avenue
-  Parkway
-  Street

**Proposed Facility**

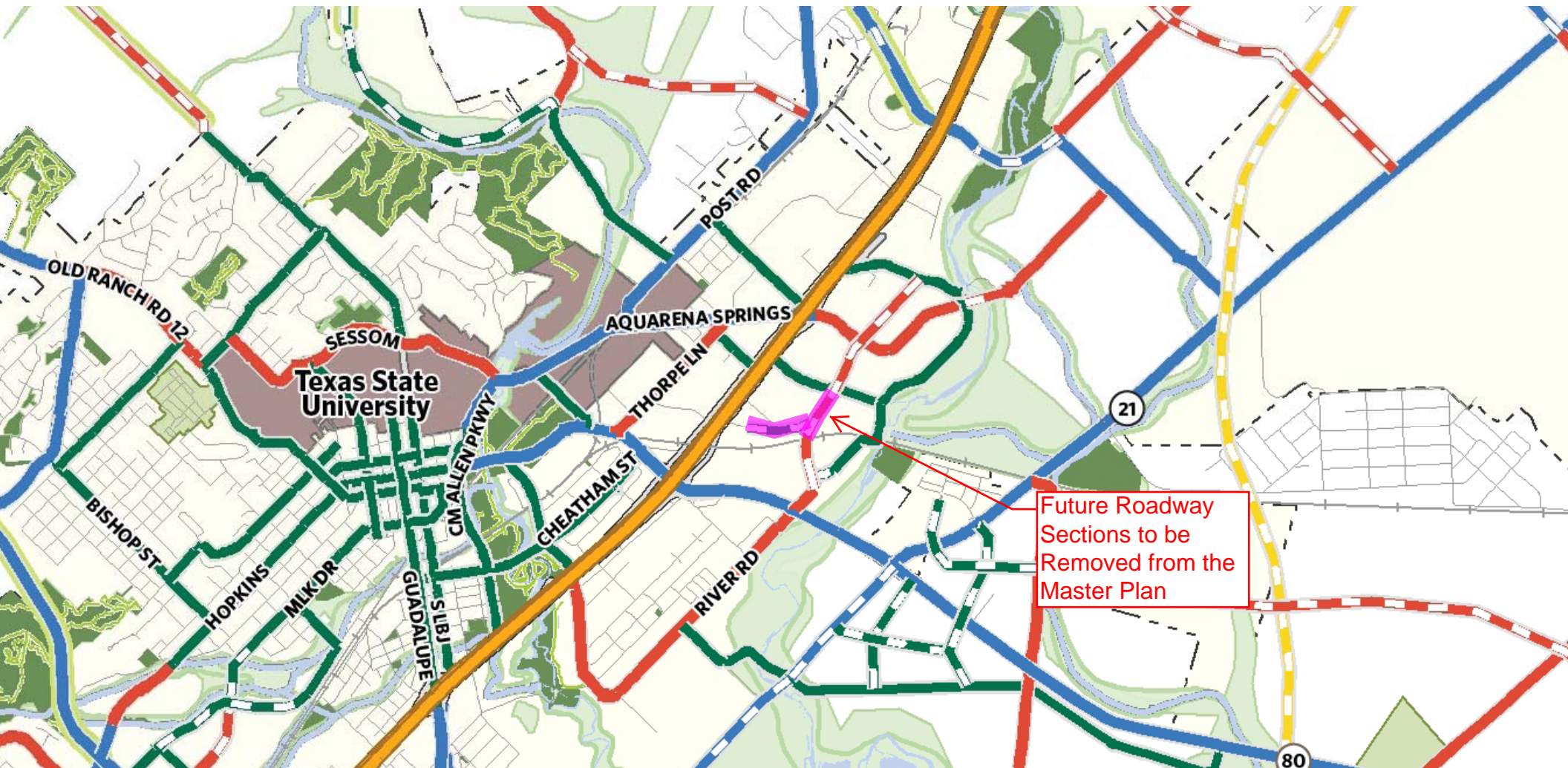
-  Boulevard
-  Avenue
-  Parkway
-  Street
-  Conservation Corridor

Source: City of San Marcos





McCoy's Retreat Center  
TMP Amendment

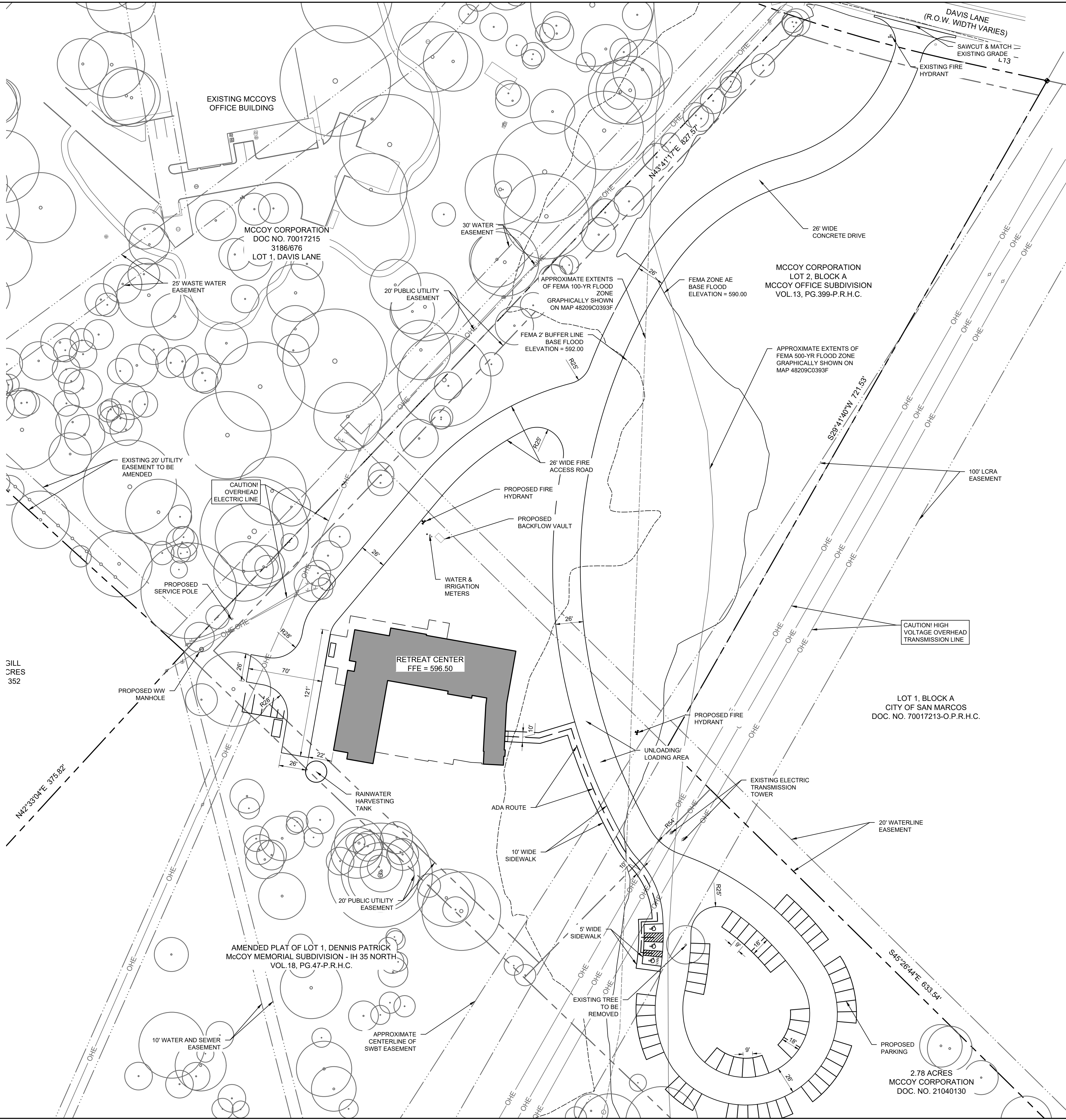


Highlighted Section  
to be Removed  
from Plan



12/16/2022

C:\Users\Quincy\Svennon\EEI Server\Dropbox\EEI Files\2022\Jobs\22012\_McCoys Retreat Center\Site\dwg\Sheets\22012\_Prelim\SITE.dwg



**LEGEND:**

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- ADA ROUTE
- BENCHMARK
- FIRE HYDRANT

**NOTES:**

- SURVEY INFORMATION PROVIDED BY CUPLIN AND ASSOCIATES, INC. RECEIVED ELECTRONICALLY SEPTEMBER 2022. NO WARRANTY IS EXPRESSED AS TO ITS ACCURACY.
- FOR CONCEPT PLANNING PURPOSES ONLY. NOT FOR PERMITTING OR CONSTRUCTION.

**SITE INFORMATION:**

ZONING	FD (FUTURE DEVELOPMENT)
RETREAT CENTER SQUARE FOOTAGE (SF)	11,365 SF
PASSENGER CAR PARKING REQUIRED (1/200SF GROSS FLOOR AREA)	57 SPACES
STANDARD PARKING PROVIDED (10'X20')	55 SPACES
HANDICAP PARKING PROVIDED	3 SPACES
TOTAL PARKING PROVIDED	57 SPACES

**ECKERMANN  
ENGINEERING, INC.**

202 SPRING HO AVENUE  
LAWRENCE, TEXAS 76850  
PHONE: 512-558-8160  
TBP# FIRM NO. F-10496

MCCOY'S RETREAT CENTER  
1200 DAVIS LANE  
SAN MARCOS, TEXAS 78666

**MCCOY'S  
BUILDING SUPPLY**

SITE PLAN IMPROVEMENTS

**CONCEPTUAL  
SITE PLAN**

**PRELIMINARY**

FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

SAM N. WALKER, P.E. 101708  
NAME P.E. NO.  
12/16/2022  
DATE

Project No.: 22012  
Issued: 12/16/2022  
Drawn By: QS, TM  
Checked By: SW

**C.01**

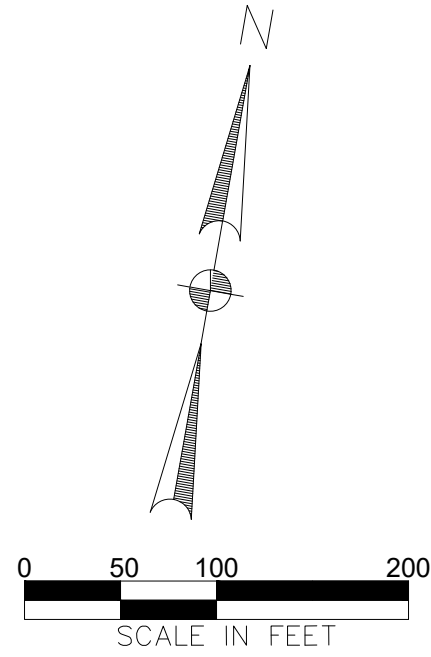
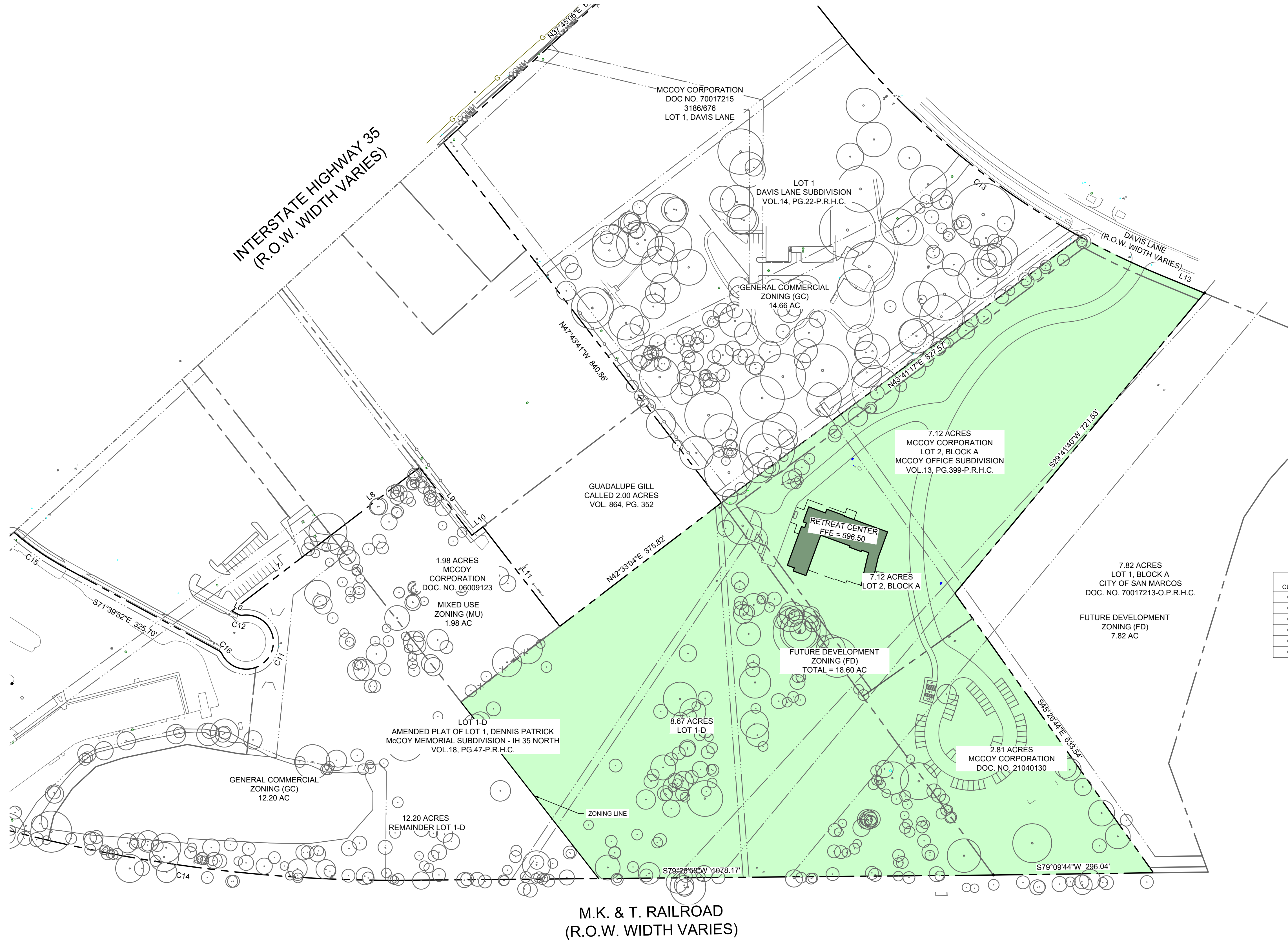
Sheet 1 OF 2





12/16/2022

C:\Users\Quincy\OneDrive\Files\2022\Johns\22012\_McCoy's Retreat Center\Sheet\22012\_CUPArea.dwg



LEGEND:

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- SETBACK LINE
- BENCHMARK

PROPOSED FUTURE DEVELOPMENT ZONING WITH  
CONDITIONAL USE PERMIT

NOTES:

- SURVEY INFORMATION PROVIDED BY CUPLIN AND ASSOCIATES, INC., RECEIVED ELECTRONICALLY SEPTEMBER 2022. NO WARRANTY IS EXPRESSED AS TO ITS ACCURACY.
- FOR CONCEPT PLANNING PURPOSES ONLY. NOT FOR PERMITTING OR CONSTRUCTION.

CURVE TABLE				
CURVE	RADIUS	ARC LEN	CHD LEN	CHD BRG
C11	50.00'	219.89'	80.92'	N18°15'16"E
C12	13.00'	8.01'	7.88'	N89°43'41"W
C13	1467.39'	745.20'	737.22'	S63°12'22"E
C14	2805.27'	836.21'	833.12'	S87°54'47"W
C15	518.26'	112.73'	112.51'	S65°13'37"E
C16	13.00'	8.17'	8.04'	S53°39'04"E

LINE TABLE		
LINE	BEARING	DISTANCE
L6	N71°38'53"W	13.94'
L7	N42°35'59"E	230.36'
L8	N42°31'43"E	206.28'
L9	S47°42'33"E	158.44'
L10	N42°35'50"E	25.55'
L11	S47°46'36"E	232.32'
L12	S89°37'48"E	25.24'
L13	S77°40'53"E	86.25'
L14	N83°58'49"W	104.80'
L15	N83°29'09"W	86.78'
L16	N37°44'05"E	126.13'

Revisions		Date	App.
No.	Date		

E

ECKERMANN  
ENGINEERING, INC.

202 SPRING HO AVENUE  
LAWPARK, TEXAS 76550  
PHONE: 512-558-8160  
TBE FIRM NO. F-10496

MCCOY'S  
BUILDING SUPPLY

MCCOY'S RETREAT CENTER  
1200 DAVIS LANE  
SAN MARCOS, TEXAS 78666

SITE PLAN IMPROVEMENTS

CONDITIONAL  
USE PERMIT  
MAP

PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

SAM N. WALKER, P.E. 101708  
NAME P.E. NO.  
12/16/2022  
DATE

Project No.: 22012  
Issued: 12/16/2022  
Drawn By: QS, TM  
Checked By: SW

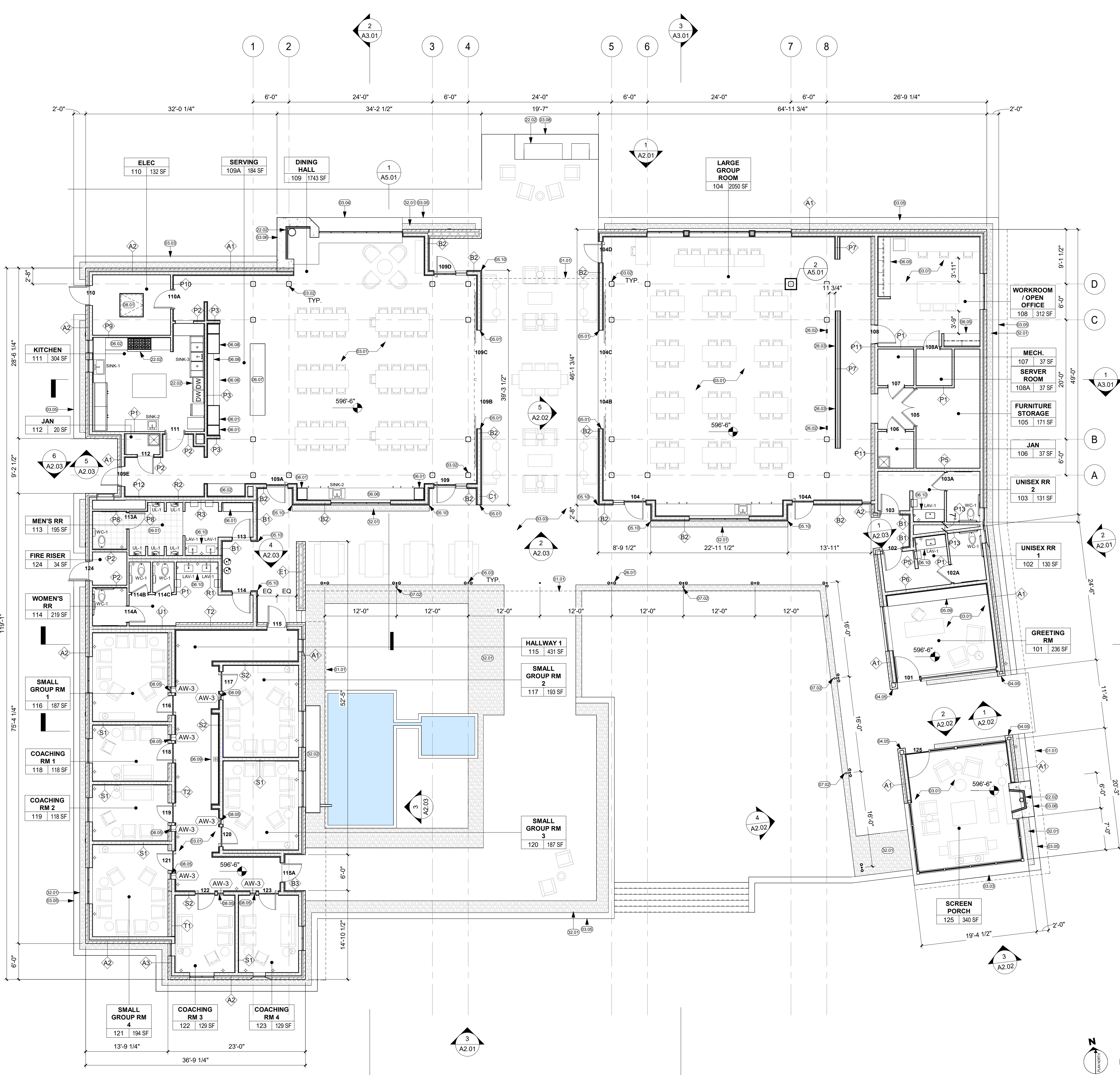
C.02  
Sheet 1 OF 2





GENERAL NOTES - FIRE ALARM	
1	DELEGATED DESIGN: FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR AND SHALL PROVIDE COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.
3	ALL WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES AND SHALL BE ALIGNED VERTICALLY.
4	PROVIDE AN EMPTY BOX AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL FIRE ALARM DEVICES UNLESS NOTED OTHERWISE. ALL FIRE ALARM DEVICES LOCATION ON WALLS TO DECK AND/OR SOUND INSULATED WALLS SHALL BE PROVIDED WITH 1/2-INCH EMT CONDUIT AND PULL STRING INTO ACCESSIBLE SPACE.
5	FIRE ALARM CONTRACTOR SHALL PROVIDE ALL PARTS, COMPONENTS, HARDWARE, WIRING, LABOR, ETC., NECESSARY FOR A COMPLETE AND FUNCTIONAL FIRE ALARM AND NOTIFICATION SYSTEM, IN COMPLIANCE WITH NFPA 72 AND ALL LOCALLY APPLICABLE CODES AND STANDARDS. FIRE ALARM REQUIREMENTS SHALL BE PROVIDED BY FIRE ALARM CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE ALARM INSTALLATION DRAWINGS TO THE JURISDICTION HAVING AUTHORITY FOR APPROVAL AND TO THE ARCHITECT AND ALL TRADES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH OTHER TRADES AND SHALL PROVIDE AND INSTALL ALL FIRE ALARM DEVICES AND EQUIPMENT AS REQUIRED. IN ADDITION THE FIRE SPRINKLER/STANDPIPE/FIRE ALARM WORK MUST IN ACCORDANCE WITH COMMENTS BELOW: a. A CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL MUST DO THE WORK. b. THE LICENSED CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL AFTER THE BUILDING PERMIT IS APPROVED. THESE SHOP DRAWINGS MUST BE APPROVED BY THE FIRE DEPARTMENT AND REVIEWED BY THE ARCHITECT PRIOR TO THE CONTRACTOR BEGINNING WORK. c. ALL WORK SHALL COMPLY WITH THE CURRENT AND APPLICABLE EDITION OF NFPA 72 STANDARD AND INTERNATIONAL FIRE CODE (IFC).

GENERAL NOTES - FIRE PROTECTION & FIRE SUPPRESSION SYSTEM	
1	DELEGATED DESIGN: A LICENSED FIRE SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL ALL NEW SPRINKLER COMPONENTS REQUIRED FOR A COMPLETE FIRE PROTECTION SYSTEM FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	INSTALLATION OF ALL EQUIPMENT SHALL CONFORM WITH THE LATEST APPROVED STANDARD OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FOR INSTALLATION OF A HYDRAULICALLY SIZED SPRINKLER SYSTEM FOR THIS APPLICATION AND THE MOST RECENTLY ADOPTED EDITION OF THE INTERNATIONAL FIRE CODE. THE OCCUPANCIES INDICATED ON THE DRAWINGS SHALL DETERMINE THE DESIGN OF THE SPRINKLER SYSTEM. ALL PIPING SHALL BE SCHEDULE 40 STEEL MATERIALS AND SHALL CONFORM WITH ANSI/ASTM A53 SPECIFICATIONS.
3	ALL ASPECTS OF THE FIRE PROTECTION SYSTEMS, INCLUDING EQUIPMENT AND INSTALLATION SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. SHOP DRAWINGS OF THE ENTIRE FIRE PROTECTION SYSTEM, DRAWN IN CONFORMANCE WITH CERTIFIED SPRINKLER DESIGNER REQUIREMENTS, SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO ANY INSTALLATION WORK BEING PERFORMED. THE FORMAT OF THE SHOP DRAWINGS AND ANY REQUIRED CALCULATIONS PRESENTED SHALL CONFORM TO ALL REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT THE PROPER WATER SUPPLY, AS REQUIRED BY NFPA 13, IS AVAILABLE TO THE PIPE SIZING METHOD USED FOR DESIGN. WHERE APPLICABLE, SPRINKLER HEADS SHALL BE INSTALLED CENTER-OF-TILE IN ACOUSTICAL PANEL CEILING SYSTEMS. WHERE STRUCTURE IS EXPOSED SPRINKLER HEADS SHALL BE ALIGNED WITH STRUCTURAL CENTER-OF-BAYS OR STRUCTURAL GRID LINES. ANY SPRINKLER PIPING EXPOSED TO VIEW SHALL BE PAINTED. SPRINKLER HEADS IN GYPSUM BOARD, PLASTER OR STUCCO CEILINGS SHALL BE CONCEALED TYPE HEADS. CONTRACTOR SHALL INCLUDE IN BID COST ALLOWANCES FOR ANY ADDITIONAL PIPE, SPRINKLER HEADS, ETC., REQUIRED TO ACCOMPLISH THESE SPACING AND FINISH REQUIREMENTS. CLOSELY COORDINATE HEAD LOCATIONS WITH OTHER MEP DEVICES INCLUDING AIR DEVICES, LIGHT FIXTURES, CEILING FANS, ETC.
4	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING FULL COORDINATION WITH OTHER TRADES AND CONTRACTORS TO ACCOMPLISH THE WORK AS SHOWN AND NOTED IN THESE CONTRACT DOCUMENTS, WHICH CONSIST OF ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL COMPARE THE DRAWINGS OF OTHER TRADES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND ARCHITECT.
5	ALL ABOVE GROUND FIRE PROTECTION PIPING EXPOSED TO TEMPERATURES BELOW 40 DEG. F SHALL BE PROTECTED BY AN ELECTRIC HEAT TRACE SYSTEM SPECIFICALLY LISTED FOR USE IN FIRE PROTECTION SYSTEMS. HEAT TRACE SHALL MAINTAIN PIPE TEMPERATURE ABOVE 40 DEG. F. HEAT TRACE SYSTEMS USED ON BRANCH LINES SHALL BE SPECIFICALLY LISTED FOR USE ON BRANCH LINES. HEAT TRACE SYSTEM SHALL BE SUPERVISED BY THE BUILDING FIRE ALARM SYSTEM.



GENERAL NOTES	
1	SEE SHEET G0.40 FOR WALL & PARTITION TYPES
2	SEE SHEET A6.00 FOR WINDOW TYPES & SCHEDULES
3	SEE SHEET A6.50 FOR DOOR TYPES & SCHEDULES
4	SEE SHEET G0.50 FOR FINISH, EQUIPMENT, AND ACCESSORIES SCHEDULE
5	ALL DIMENSIONS ARE TO STRUCTURAL GRID OR FACE OF GWB/SHEATHING UNLESS NOTED OTHERWISE
6	ALL WINDOW LOCATION DIMENSIONS ARE REFERENCED TO THE OUTSIDE OF WINDOW UNIT. SEE SHEET A6.00 FOR ROUGH OPENING DIMENSIONS.
7	ALL EXTERIOR ELECTRICAL OUTLETS & HOSE BIBS ARE LOCATED 1'-3" A.F.F. TO CENTERLINE.
8	FIRE ALARM AND FIRE SUPPRESSION SYSTEM TO BE INSTALLED THROUGHOUT ENTIRE BUILDING.

KEYNOTES	
03.01	CONCRETE FLOOR WITH DIAMOND POLISH
03.02	CONCRETE CHAMFERED COLUMN, REF: STRUCTURAL
03.03	CONCRETE FLOOR WITH LIGHT SAND BLAST FINISH
03.04	ARCHITECTURAL C.I.P. CONCRETE HEARTH
03.05	ARCHITECTURAL C.I.P. CONCRETE SITE WALL, REF: STRUCTURAL
03.06	ARCHITECTURAL C.I.P. FIRE PLACE, REF: STRUCTURAL
03.08	CUSTOM CAST IN PLACE CONCRETE FIRE PIT
04.05	STONE WALL RETURN
05.01	14" PLATE STEEL WALL CAP: COUNTER SUNK SCREWS AT 24" O.C. FINISH TBD
05.03	STEEL COLUMN, REF: STRUCTURAL
05.09	CUSTOM STEEL BOOKCASE
05.10	BENT PLATE STEEL TRIM AT STONE WALL
06.01	CUSTOM CASEWORK; FINISH: TBD
06.02	CUSTOM CASEWORK WITH COUNTERTOP; FINISH: TBD
06.05	CUSTOM PAINT GRADE CABINETY WITH P-LAM COUNTERTOP
06.06	CUSTOM PAINTED CABINETY WITH DARK STONE COUNTERS
06.07	CUSTOM WOOD VENEER SERVING ISLAND WITH LIGHT STONE COUNTER; FINISH: TRANSPARENT
06.08	CUSTOM CASEWORK; FINISH: TRANSPARENT
06.09	4" THICK WOOD SLAB COUNTERTOP
06.10	WOOD SLAB COUNTERTOP WITH STONE FINISH; COLOR TBD
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
08.01	CRAWL SPACE ACCESS
08.05	ALUMINUM WINDOW SYSTEM
09.01	TILE FLOORING
22.02	GAS FIRED APPLIANCES
26.01	LIGHT FIXTURE, REF: RCP AND ELECTRICAL
26.02	FLOOR BOX, REF: ELECTRICAL
26.03	LARGE-FORMAT TV OR ELECTRIC PROJECTION SCREEN, RECESSED IN WALL
32.01	GRAVEL
32.02	CUSTOM WATER FOUNTAIN

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

© COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF A REPRESENTATIVE OF ANDERSSON WISE ARCHITECTS INC.

**ANDERSSON / WISE**  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

**MCCOY'S RETREAT**  
PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22  
Δ REVISIONS

DESIGN PHASE SUBMITTAL

ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

CAMPUS FLOOR PLAN

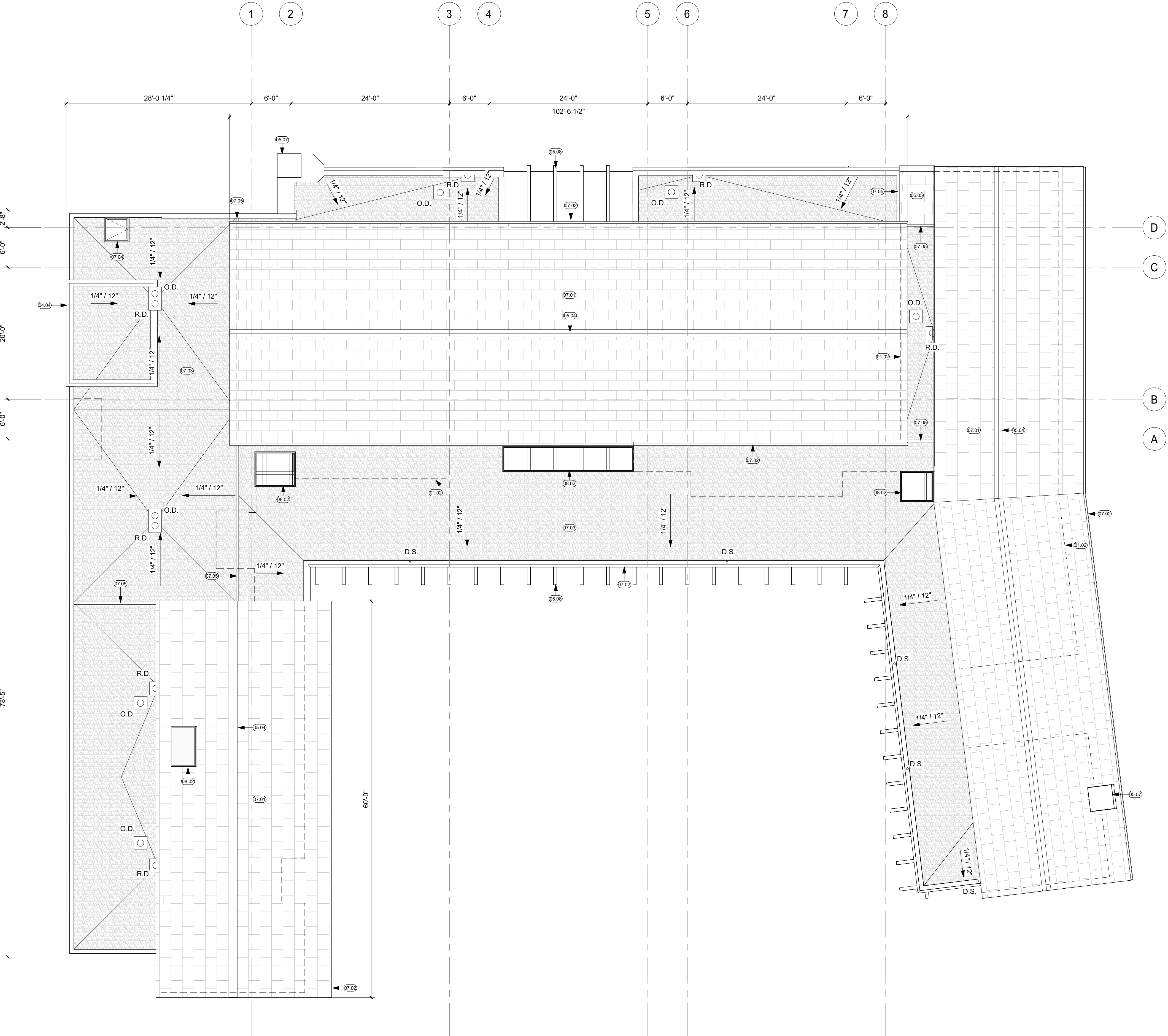
1 CAMPUS FLOOR PLAN  
Scale: 1/8" = 1'-0"

A1.01



GENERAL NOTES - FIRE ALARM	
1	DELEGATED DESIGN: FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR AND SHALL PROVIDE COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.
3	ALL WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES AND SHALL BE ALIGNED VERTICALLY.
4	PROVIDE AN EMPTY BOX AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL FIRE ALARM DEVICES UNLESS NOTED OTHERWISE. ALL FIRE ALARM DEVICES LOCATION ON WALLS TO DECK AND/OR SOUND INSULATED WALLS SHALL BE PROVIDED WITH ¾-INCH EMT CONDUIT AND PULL STRING INTO ACCESSIBLE SPACE.
5	FIRE ALARM CONTRACTOR SHALL PROVIDE ALL PARTS, COMPONENTS, HARDWARE, WIRING, LABOR, ETC., NECESSARY FOR A COMPLETE AND FUNCTIONAL FIRE ALARM AND NOTIFICATION SYSTEM, IN COMPLIANCE WITH NFPA 72 AND ALL LOCALLY APPLICABLE CODES AND STANDARDS. FIRE ALARM REQUIREMENTS SHALL BE PROVIDED BY FIRE ALARM CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE ALARM INSTALLATION DRAWINGS TO THE JURISDICTION HAVING AUTHORITY FOR APPROVAL AND TO THE ARCHITECT AND ALL TRADES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH OTHER TRADES AND SHALL PROVIDE AND INSTALL ALL FIRE ALARM DEVICES AND EQUIPMENT AS REQUIRED. IN ADDITION THE FIRE SPRINKLER/STANDPIPE/FIRE ALARM WORK MUST IN ACCORDANCE WITH COMMENTS BELOW: a. A CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL MUST DO THE WORK. b. THE LICENSED CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL AFTER THE BUILDING PERMIT IS APPROVED. THESE SHOP DRAWINGS MUST BE APPROVED BY THE FIRE DEPARTMENT AND REVIEWED BY THE ARCHITECT PRIOR TO THE CONTRACTOR BEGINNING WORK. c. ALL WORK SHALL COMPLY WITH THE CURRENT AND APPLICABLE EDITION OF NFPA 72 STANDARD AND INTERNATIONAL FIRE CODE (IFC).

GENERAL NOTES - FIRE PROTECTION & FIRE SUPPRESSION SYSTEM	
1	DELEGATED DESIGN: A LICENSED FIRE SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL ALL NEW SPRINKLER COMPONENTS REQUIRED FOR A COMPLETE FIRE PROTECTION SYSTEM FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	INSTALLATION OF ALL EQUIPMENT SHALL CONFORM WITH THE LATEST APPROVED STANDARD OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FOR INSTALLATION OF A HYDRAULICALLY SIZED SPRINKLER SYSTEM FOR THIS APPLCAITON AND THE MOST RECENTLY ADOPTED EDITION OF THE INTERNATIONAL FIRE CODE. THE OCCUPANCIES INDICATED ON THE DRAWINGS SHALL DETERMINE THE DESIGN OF THE SPRINKLER SYSTEM. ALL PIPING SHALL BE SCHEDULE 40 STEEL MATERIALS AND SHALL CONFORM WITH ANSI/ASTM A53 SPECIFICATIONS.
3	ALL ASPECTS OF THE FIRE PROTECTION SYSTEMS, INCLUDING EQUIPMENT AND INSTALLATION SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. SHOP DRAWINGS OF THE ENTIRE FIRE PROTECTION SYSTEM, DRAWN IN CONFORMANCE WITH CERTIFIED SPRINKLER DESIGNER REQUIREMENTS, SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO ANY INSTALLATION WORK BEING PERFORMED. THE FORMAT OF THE SHOP DRAWINGS AND ANY REQUIRED CALCULATIONS PRESENTED SHALL CONFORM TO ALL REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT THE PROPER WATER SUPPLY, AS REQUIRED BY NFPA 13, IS AVAILABLE TO THE PIPE SIZING METHOD USED FOR DESIGN. WHERE APPLICABLE, SPRINKLER HEADS SHALL BE INSTALLED CENTER-OF-TILE IN ACOUSTICAL PANEL CEILING SYSTEMS. WHERE STRUTURE IS EXPOSED SPRINKLER HEADS SHALL BE ALIGNED WITH STUCTURAL CENTER-OF-BAYS OR STRUCTURAL GRID LINES. ANY SPRINKLER PIPING EXPOSED TO VIEW SHALL BE PAINTED. SPRINKLER HEADS IN GYPSUM BOARD, PLASTER OR STUCCO CEILINGS SHALL BE CONCEALED TYPE HEADS. CONTRACTOR SHALL INCLUDE IN BID COST ALLOWANCES FOR ANY ADDITIONAL PIPE, SPRINKLER HEADS, ETC., REQUIRED TO ACCOMPLISH THESE SPACING AND FINISH REQUIREMENTS. CLOSELY COORDINATE HEAD LOCATIONS WITH OTHER MEP DEVICES INCLUDING AIR DEVICES, LIGHT FIXTURES, CEILING FANS, ETC.
4	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING FULL COORDINATION WITH OTHER TRADES AND CONTRACTORS TO ACCOMPLISH THE WORK AS SHOWN AND NOTED IN THESE CONTRACT DOCUMENTS, WHICH CONSIST OF ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL COMPARE THE DRAWINGS OF OTHER TRADES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND ARCHITECT.
5	ALL ABOVE GROUND FIRE PROTECTION PIPING EXPOSED TO TEMPERATURES BELOW 40 DEG. F SHALL BE PROTECTED BY AN ELECTRIC HEAT TRACE SYSTEM SPECIFICALLY LISTED FOR USE IN FIRE PROTECTION SYSTEMS. HEAT TRACE SHALL MAINTAIN PIPE TERMPERATURE ABOVE 40 DEG. F. HEAT TRACE SYSTEMS USED ON BRANCH LINES SHALL BE SPECIFICALLY LISTED FOR USE ON BRANCH LINES. HEAT TRACE SYSTEM SHALL BE SUPERVISED BY THE BUILDING FIRE ALARM SYSTEM.



GENERAL NOTES	
1	SEE SHEET G0.40 FOR WALL & PARTITION TYPES
2	SEE SHEET A6.00 FOR WINDOW TYPES & SCHEDULES
3	SEE SHEET A6.50 FOR DOOR TYPES & SCHEDULES
4	SEE SHEET G0.50 FOR FINISH, EQUIPMENT, AND ACCESSORIES SCHEDULE
5	ALL DIMENSIONS ARE TO STRUCTURAL GRID OR FACE OF GWB/SHEATHING UNLESS NOTED OTHERWISE
6	ALL WINDOW LOCATION DIMENSIONS ARE REFERENCED TO THE OUTSIDE OF WINDOW UNIT. SEE SHEET A6.00 FOR ROUGH OPENING DIMENSIONS.
7	ALL EXTERIOR ELECTRICAL OUTLETS & HOSE BIBS ARE LOCATED 1'-3" A.F.F. TO CENTERLINE.
8	FIRE ALARM AND FIRE SUPPRESSION SYSTEM TO BE INSTALLED THROUGHOUT ENTIRE BUILDING.

KEYNOTES	
01.02	LINE OF BUILDING BELOW
04.04	STONE MECHANICAL SCREEN WALL
05.04	METAL RIDGE CAP
05.05	CUSTOM COPPER SCUPPER
05.07	METAL CHIMNEY CAP & SPARK ARRESTOR
05.08	STEEL CANOPY SYSTEM; REF: STRUCTURAL
07.01	METAL ROOFING
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
07.03	RIVER ROCK BALLAST ON MEMBRANE ROOF
07.04	ROOF HATCH
07.05	ROOF CURB
08.02	SKYLIGHT

NOT FOR  
REGULATORY  
APPROVAL.  
PERMITTING OR  
CONSTRUCTION

©  
COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE  
ARCHITECT AND MAY NOT BE REPRODUCED  
WITHOUT THE PERMISSION OF A  
REPRESENTATIVE OF ANDERSSON WISE  
ARCHITECTS INC.



ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

## MCCOY'S RETREAT

PROJECT NO. 2106

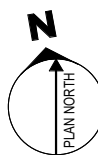
1200 DAVIS LN.  
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22  
Δ REVISIONS

## DESIGN PHASE SUBMITTAL

ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

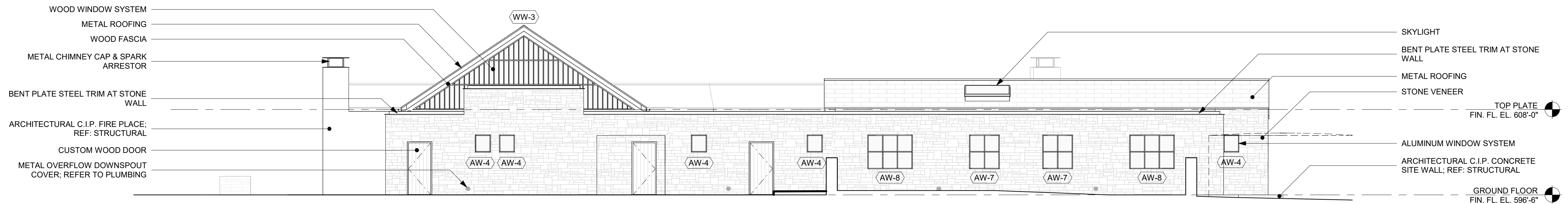
## ROOF PLAN



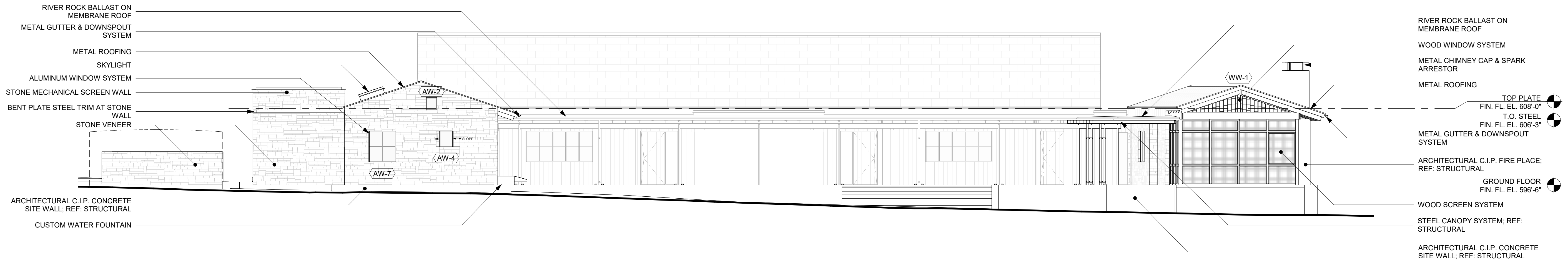
1 ROOF PLAN  
Scale: 1/8" = 1'-0"

# A1.02

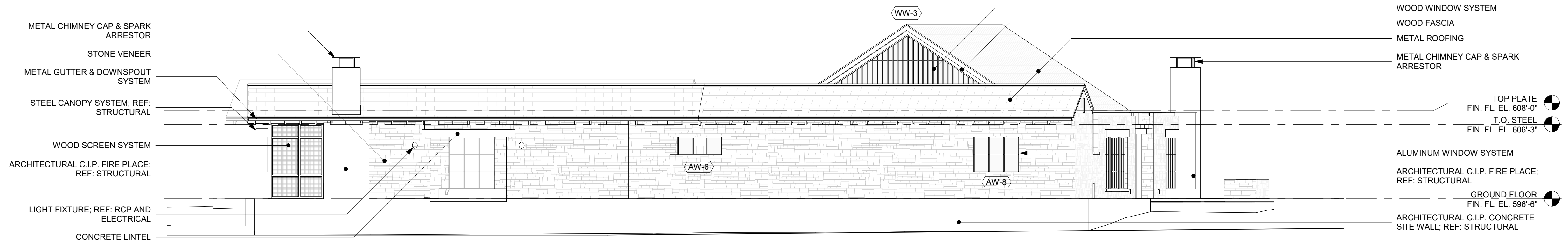




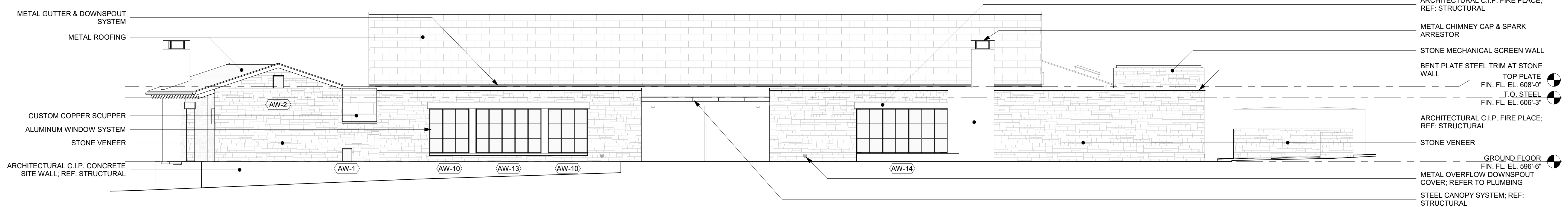
4 WEST ELEVATION  
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



2 EAST ELEVATION - ENTRANCE  
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION  
Scale: 1/8" = 1'-0"

NOT FOR  
REGULATORY  
APPROVAL,  
PERMITTING OR  
CONSTRUCTION

©  
COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE  
ARCHITECT AND MAY NOT BE REPRODUCED  
WITHOUT THE PERMISSION OF A  
REPRESENTATIVE OF ANDERSSON WISE  
ARCHITECTS INC.



ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

MCCOY'S  
RETREAT

PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22  
Δ REVISIONS

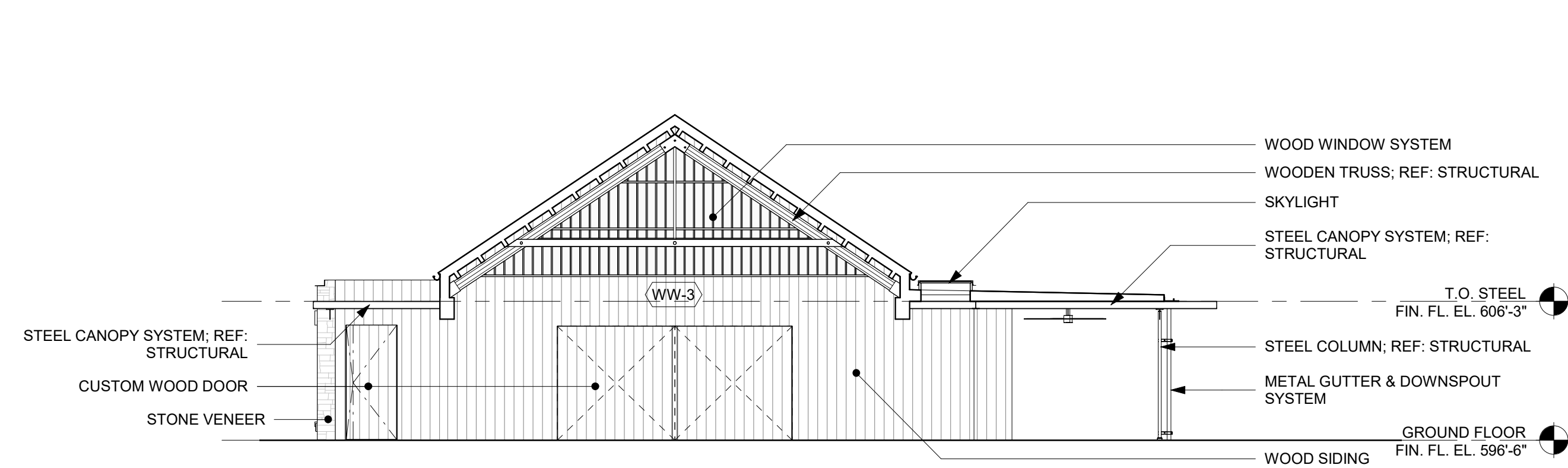
DESIGN PHASE  
SUBMITTAL

ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

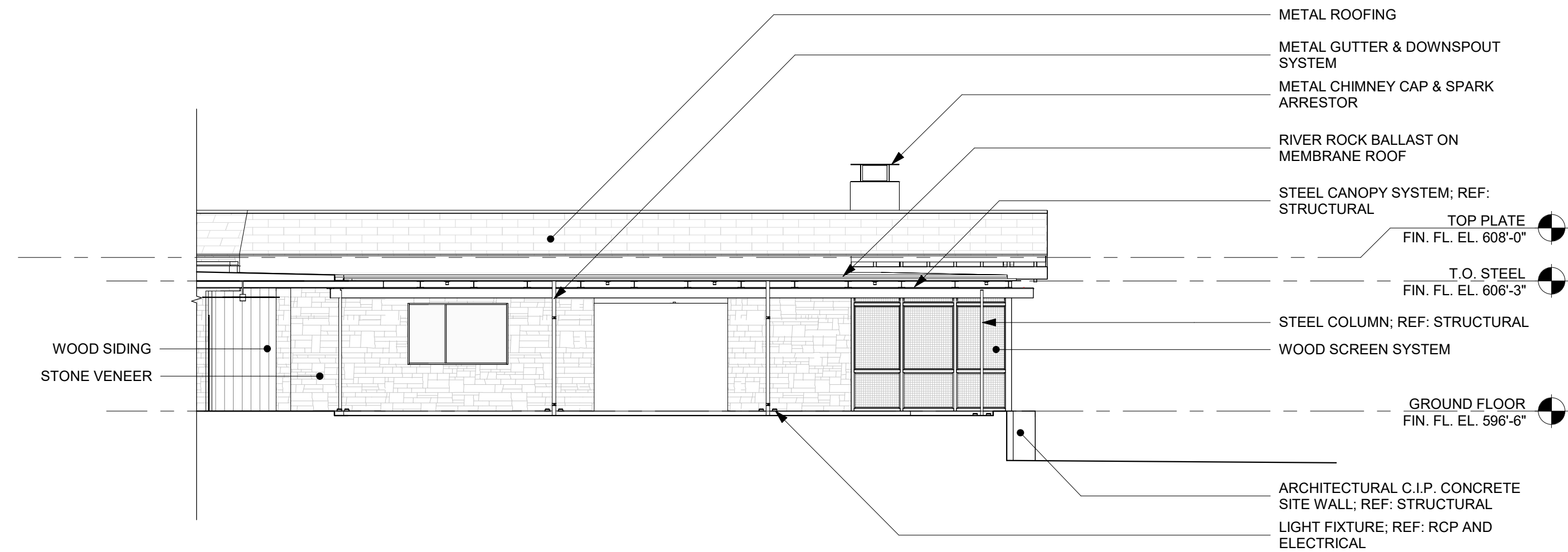
EXTERIOR  
ELEVATIONS

A2.01

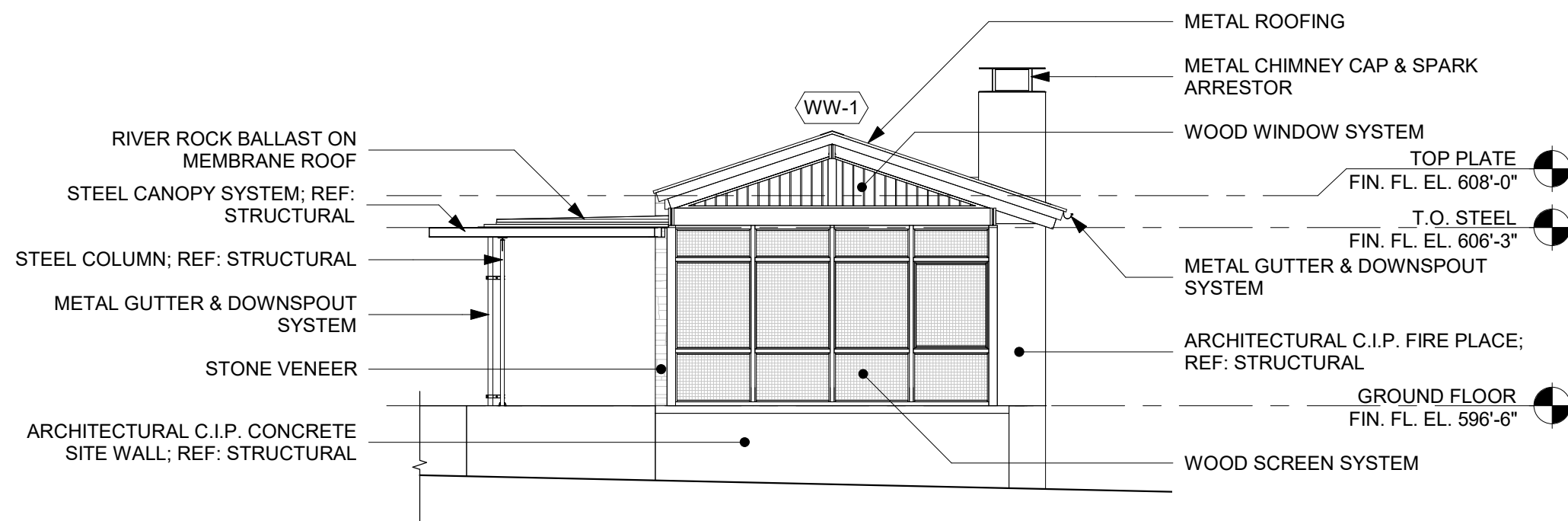




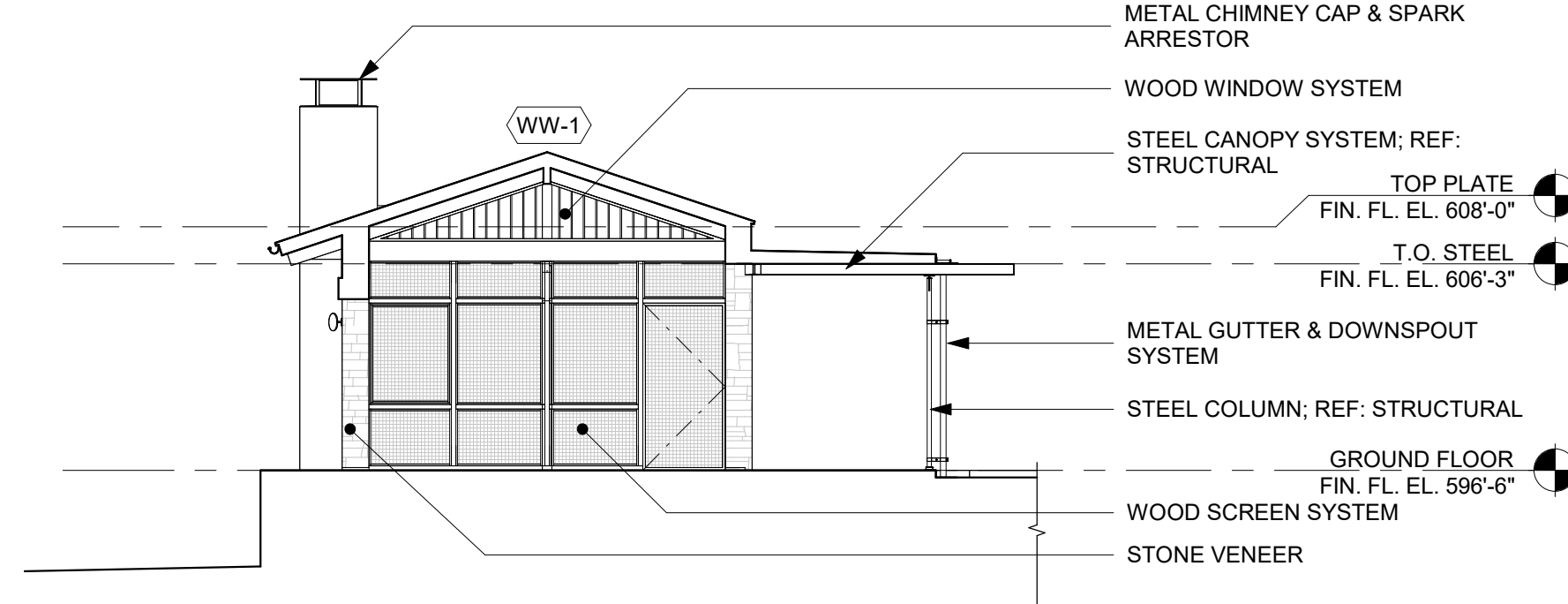
5 WEST ELEVATION - COMMUNITY PORCH  
Scale: 1/8" = 1'-0"



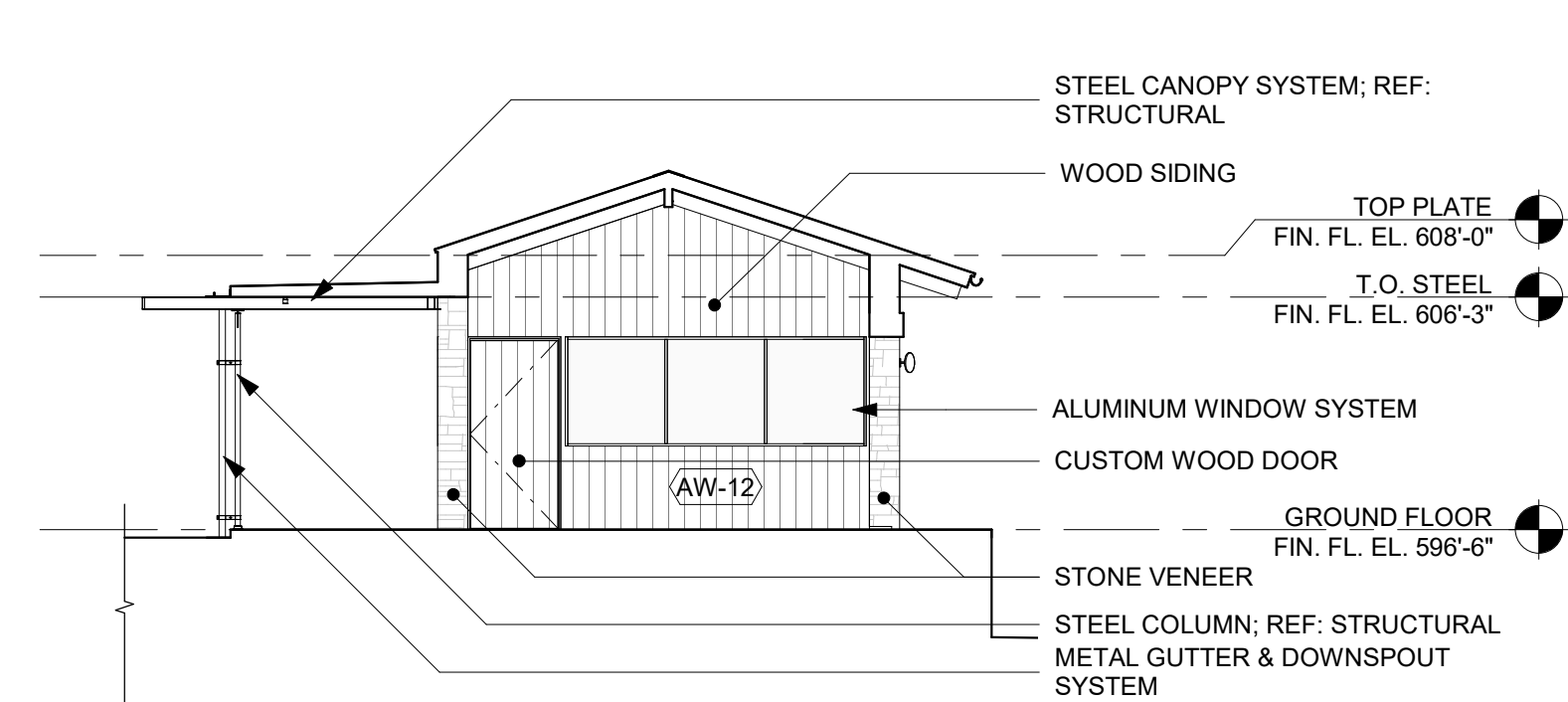
4 WEST ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION - SCREEN PORCH  
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION AT ENTRY  
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION AT ENTRY  
Scale: 1/8" = 1'-0"



ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

## MCCOY'S RETREAT

PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

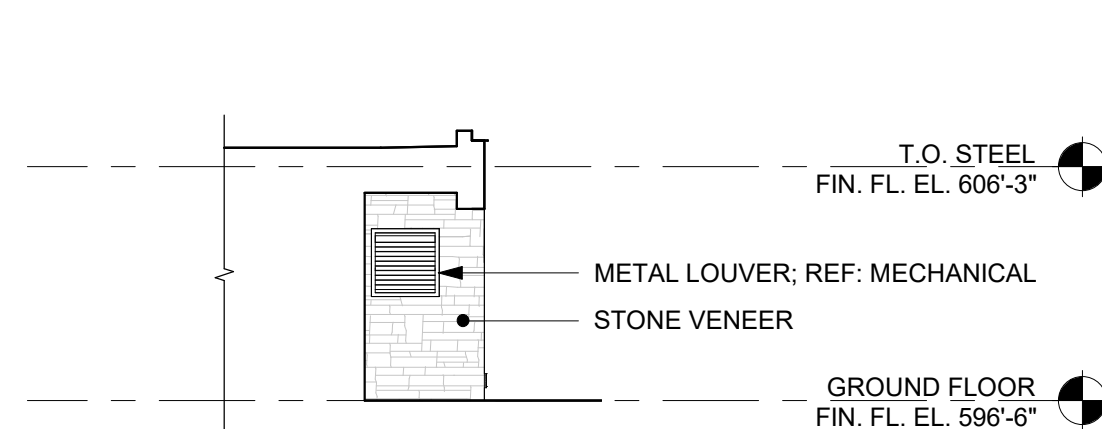
ISSUE DATE : 07/29/22  
Δ REVISIONS

## DESIGN PHASE SUBMITTAL

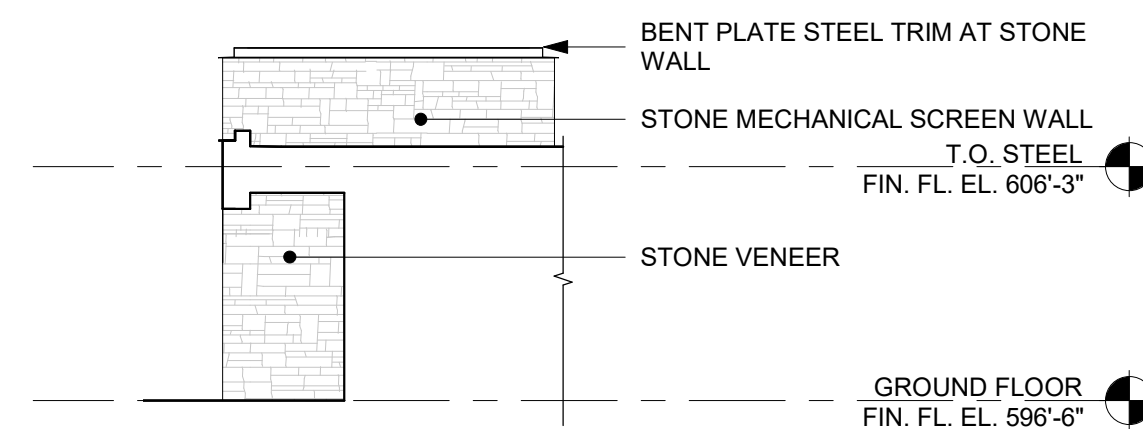
ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

## EXTERIOR ELEVATIONS

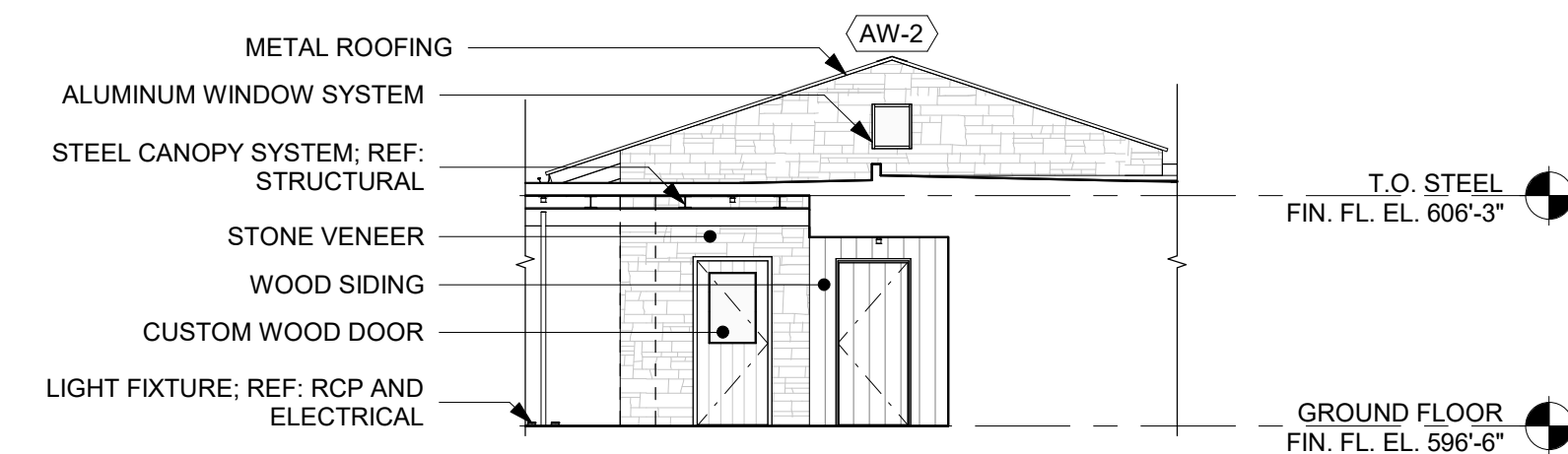
# A2.03



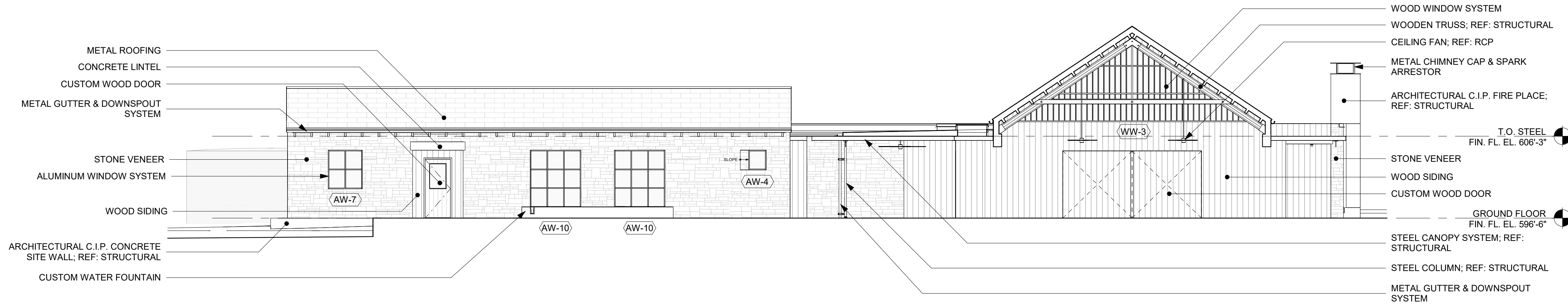
6 NORTH ELEVATION AT SERVICE ENTRY  
Scale: 1/8" = 1'-0"



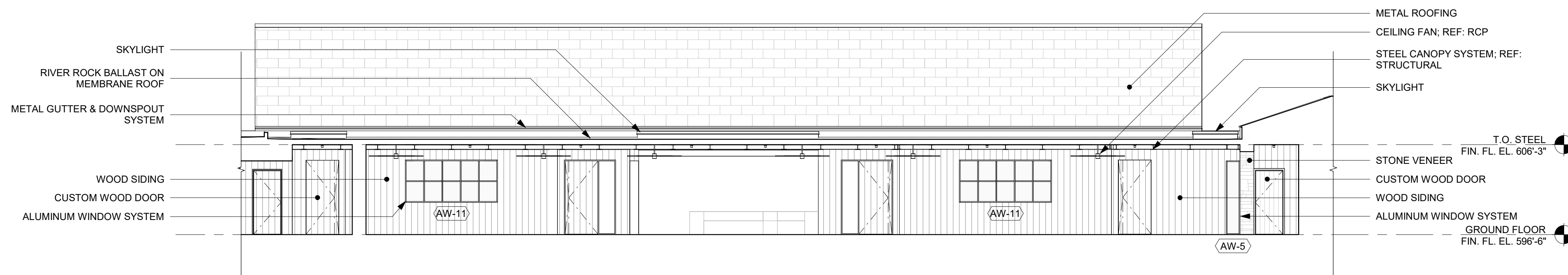
5 SOUTH ELEVATION AT SERVICE ENTRY  
Scale: 1/8" = 1'-0"



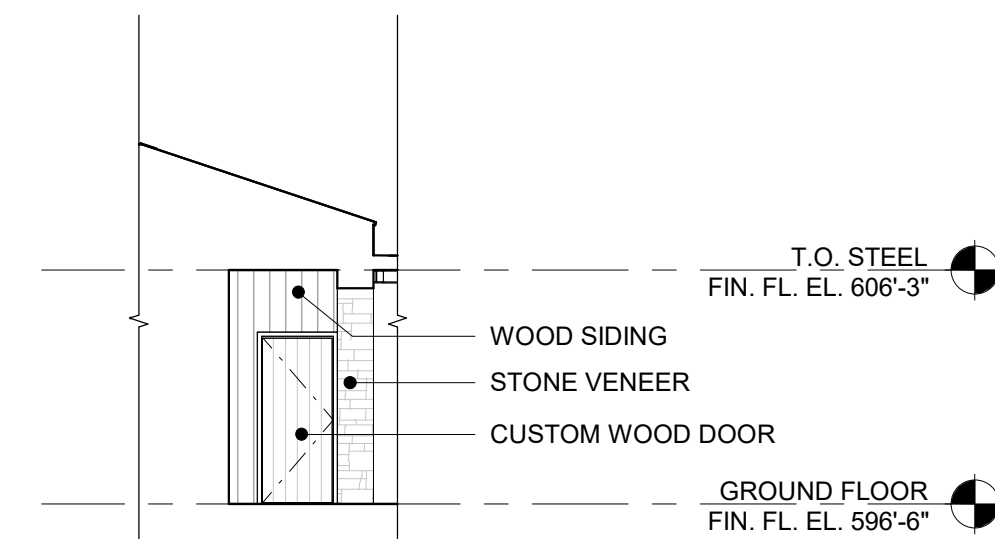
4 NORTH ELEVATION - WEST WING  
ENTRY  
Scale: 1/8" = 1'-0"



3 EAST ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"

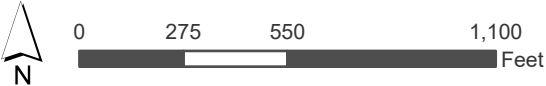


1 SOUTH ELEVATION AT UNISEX RR  
Scale: 1/8" = 1'-0"





- TMP-23-01 TMP Road Segment to Be Removed
- Applicant Development Site (CUP-23-04)
- Parcel
- ETJ

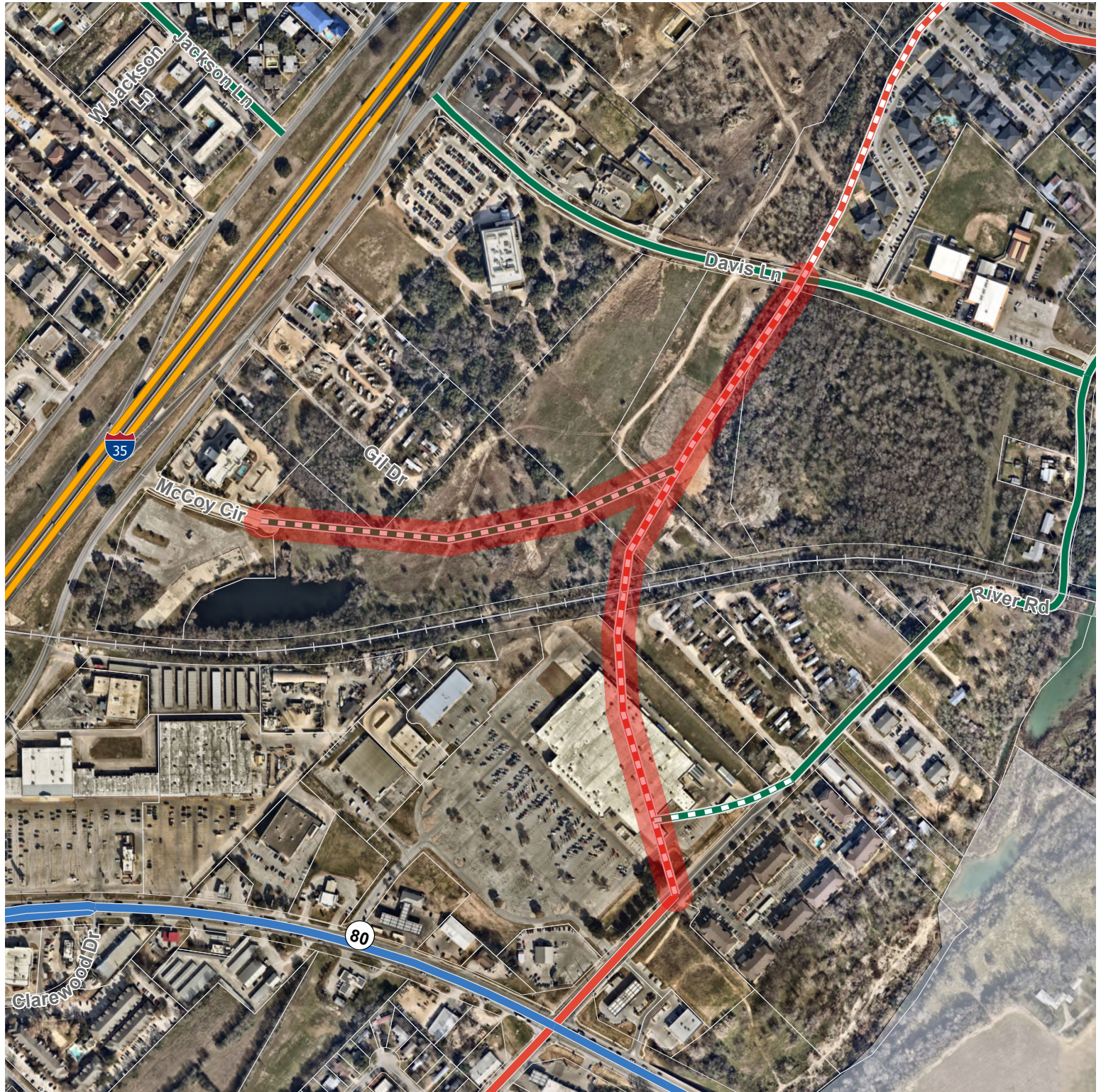


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023







TMP-23-01 TMP Road Segment to Be Removed

- Enhanced, Ave
- Enhanced, Blvd
- Enhanced, HW
- Enhanced, Pkwy
- Enhanced, St
- Proposed, Ave
- Proposed, Blvd
- Proposed, Pkwy
- Proposed, St
- Parcel
- ETJ



0 275 550 1,100 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023

Site Location







TMP-23-01 TMP Road Segment to Be Removed

- Enhanced, BB
- Enhanced, CT
- Enhanced, CT/BB
- Enhanced, CT/SP
- Enhanced, SH
- Enhanced, SP
- Enhanced, WS
- Proposed, CT
- Proposed, CT/BB
- Proposed, CT/SP
- Proposed, SH



0 275 550 1,100 Feet

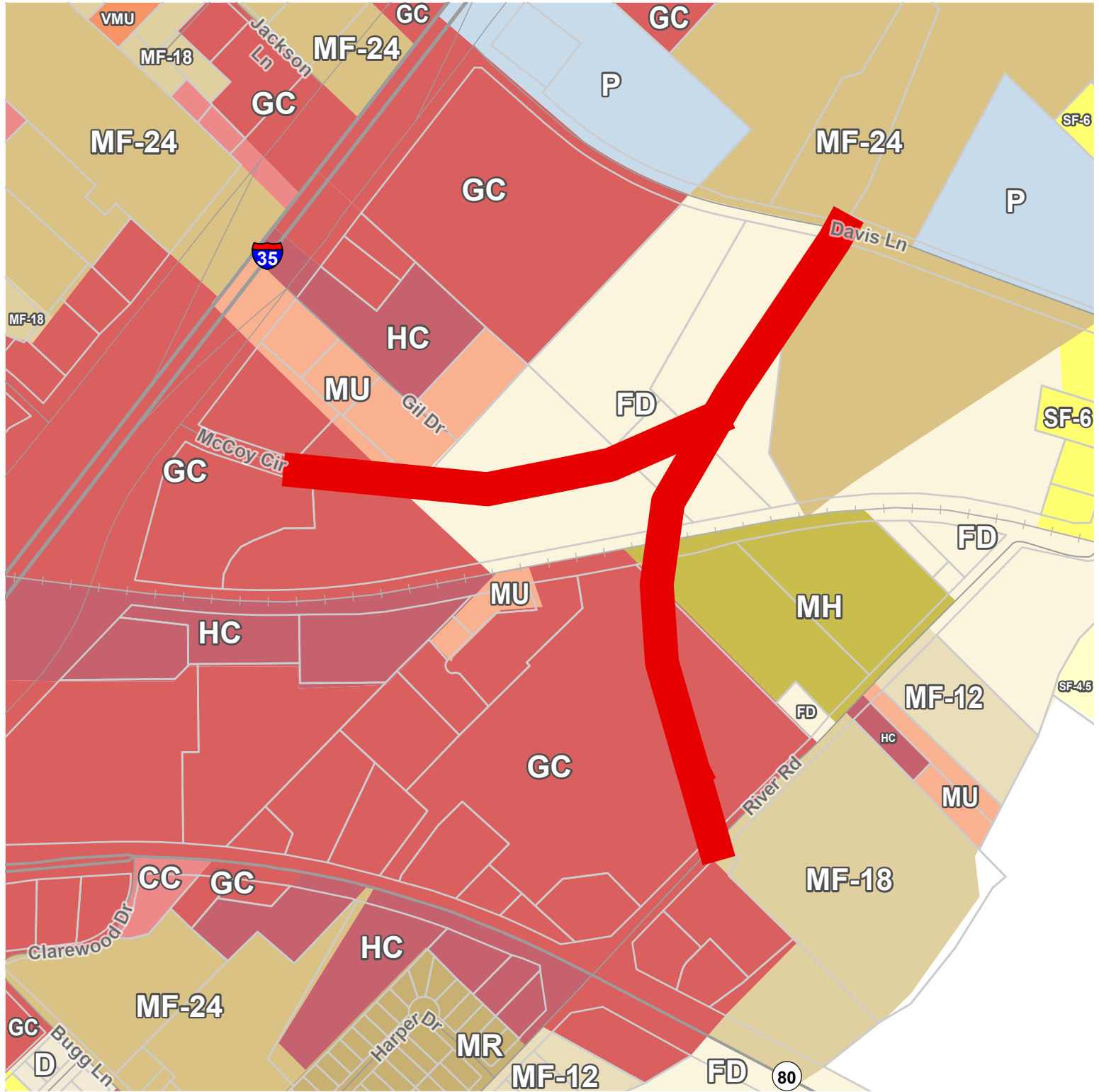
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023

Site Location







█ TMP-23-01 TMP Road Segment to Be Removed

- █ CC
- █ D
- █ FD
- █ GC
- █ HC
- █ MF-12
- █ MF-18
- █ MF-24
- █ MH
- █ MR
- █ MU



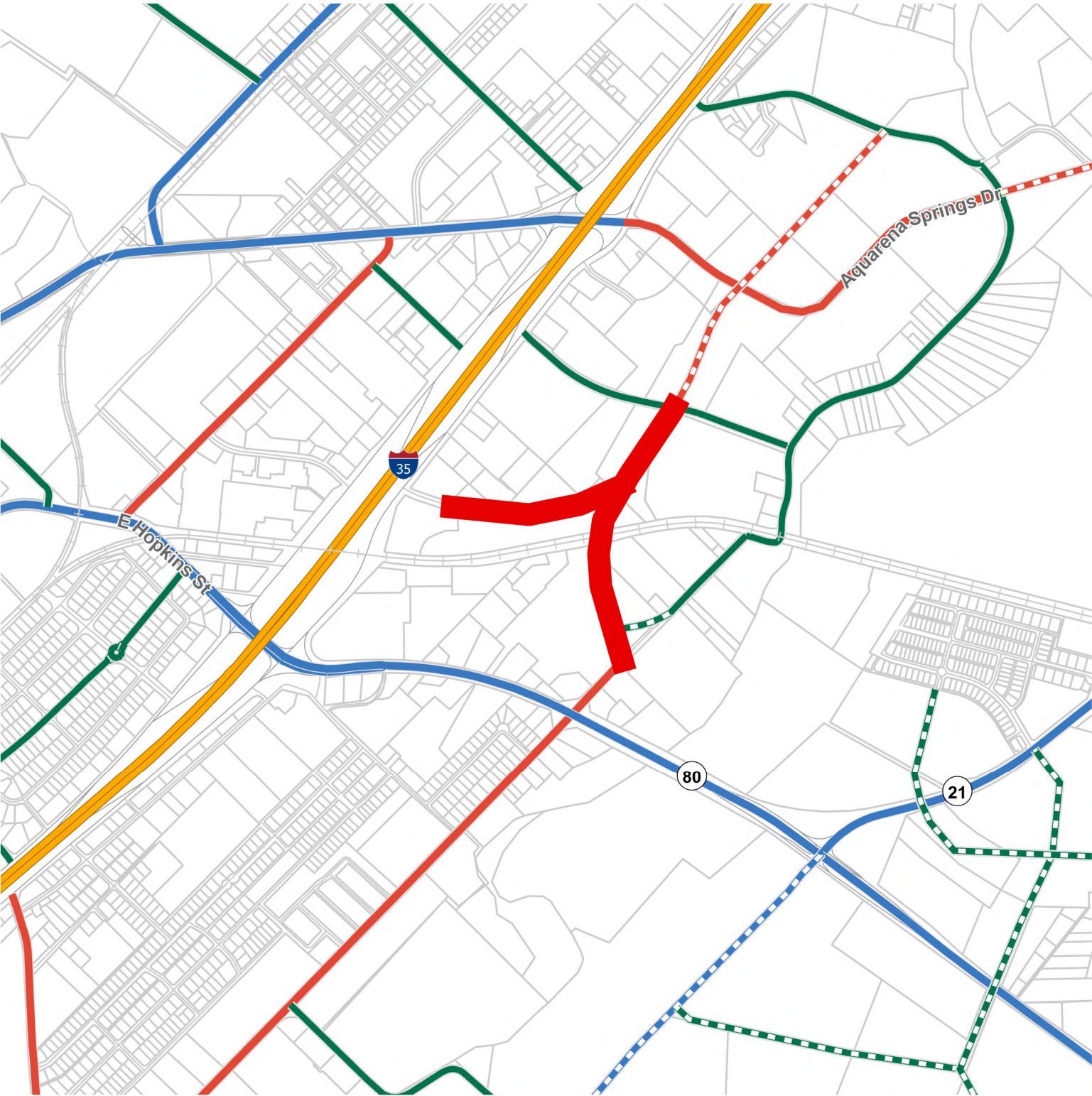
0 275 550 1,100 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

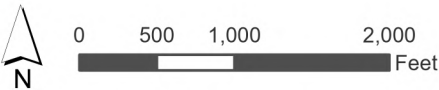
Date: 2/8/2023

Site Location





- TMP-23-01 TMP Road Segment to Be Removed
- Enhanced, Ave
- Enhanced, Blvd
- Enhanced, HW
- Enhanced, Pkwy
- Enhanced, St
- Proposed, Ave
- Proposed, Blvd
- Proposed, Pkwy
- Proposed, St
- Parcels

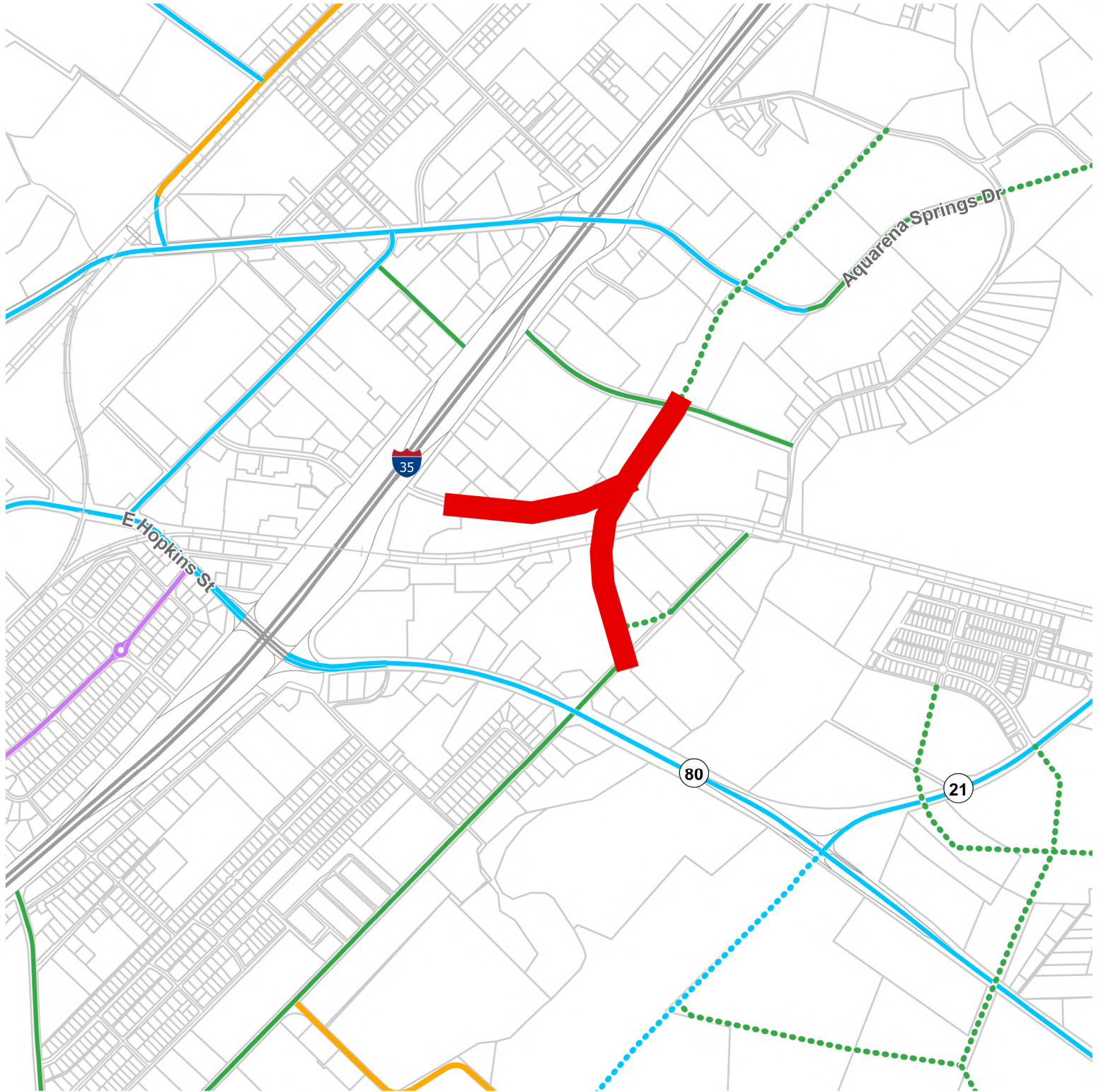


This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/13/2023







■ TMP-23-01 TMP Road Segment to Be Removed

- Enhanced, BB
- Enhanced, CT
- Enhanced, CT/BB
- Enhanced, CT/SP
- Enhanced, SH
- Enhanced, SP
- Enhanced, WS
- Proposed, CT
- Proposed, CT/BB
- Proposed, CT/SP
- Proposed, SH

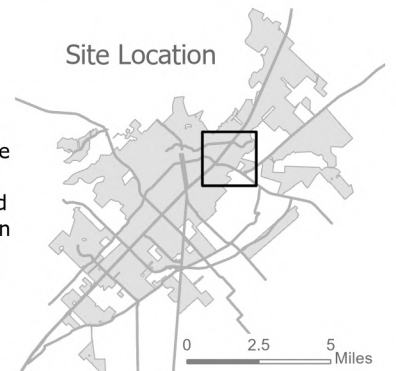


0 500 1,000 2,000  
Feet

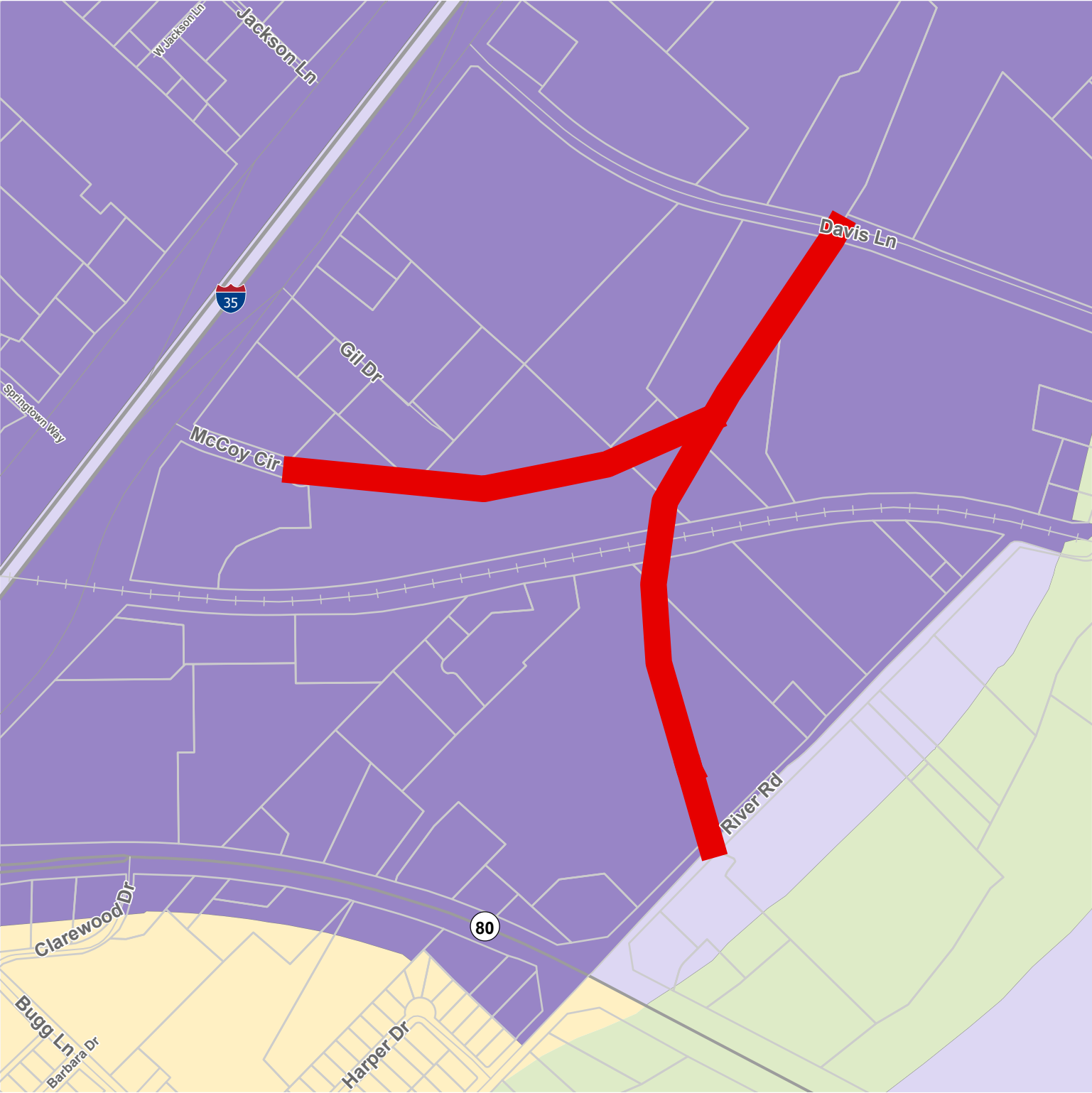
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/13/2023

Site Location

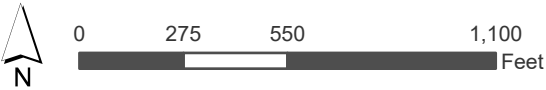






TMP-23-01 TMP Road Segment to Be Removed

- Parcels
- High Intensity
- Low Intensity
- Existing Neighborhood
- Open Space



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

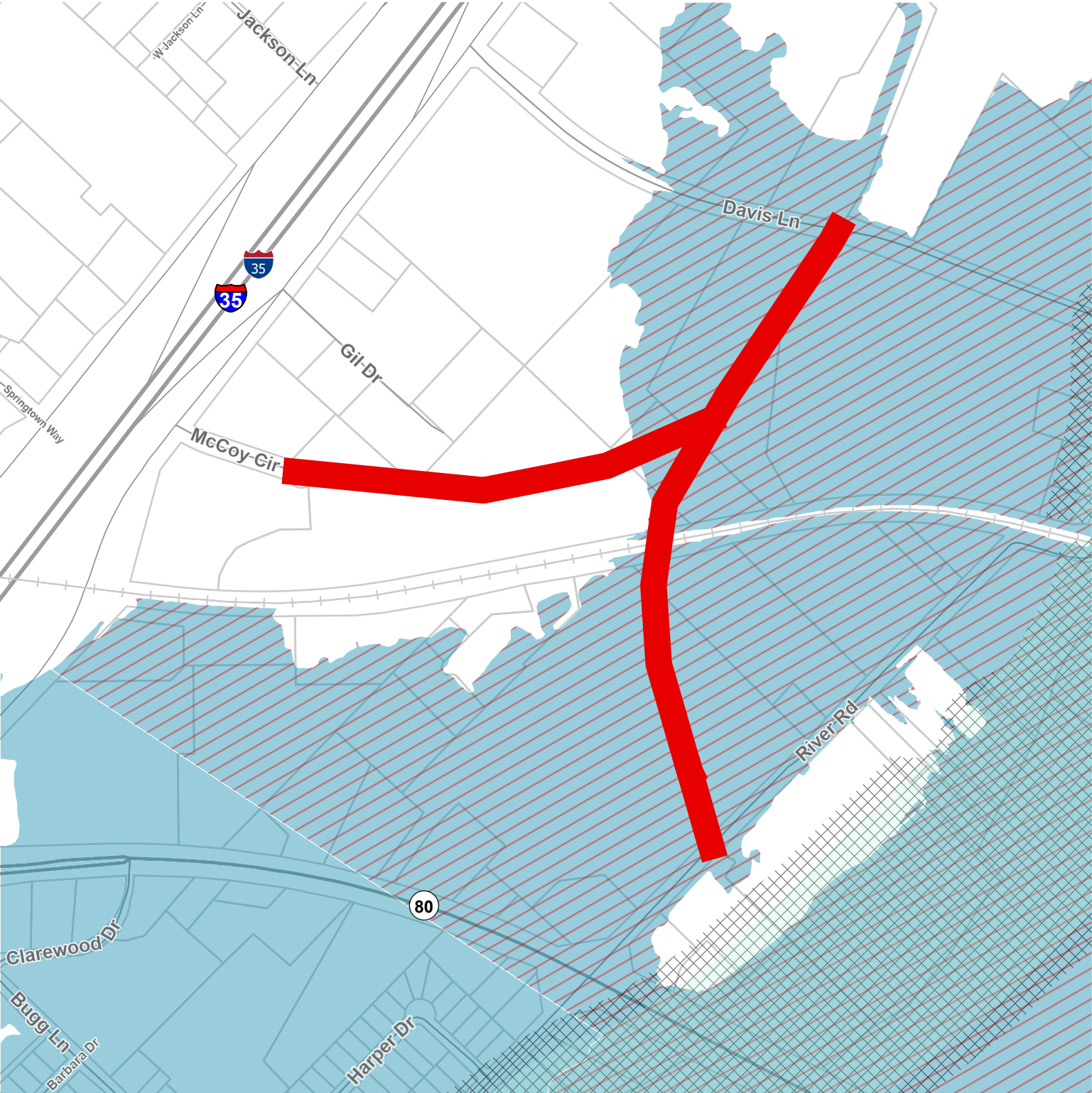
Date: 2/8/2023



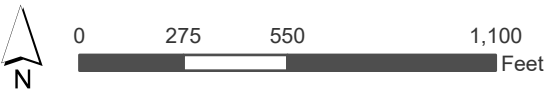
TMP-23-01

1200 Davis Ln McCoy Retreat

Environmental Features



- TMP-23-01 TMP Road Segment to Be Removed
- Water Quality Zone
- Water Quality Zone Buffer
- Floodway
- 100 Year Floodplain
- Parcels



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023





## **Discussion Item**

### **TMP-23-01**

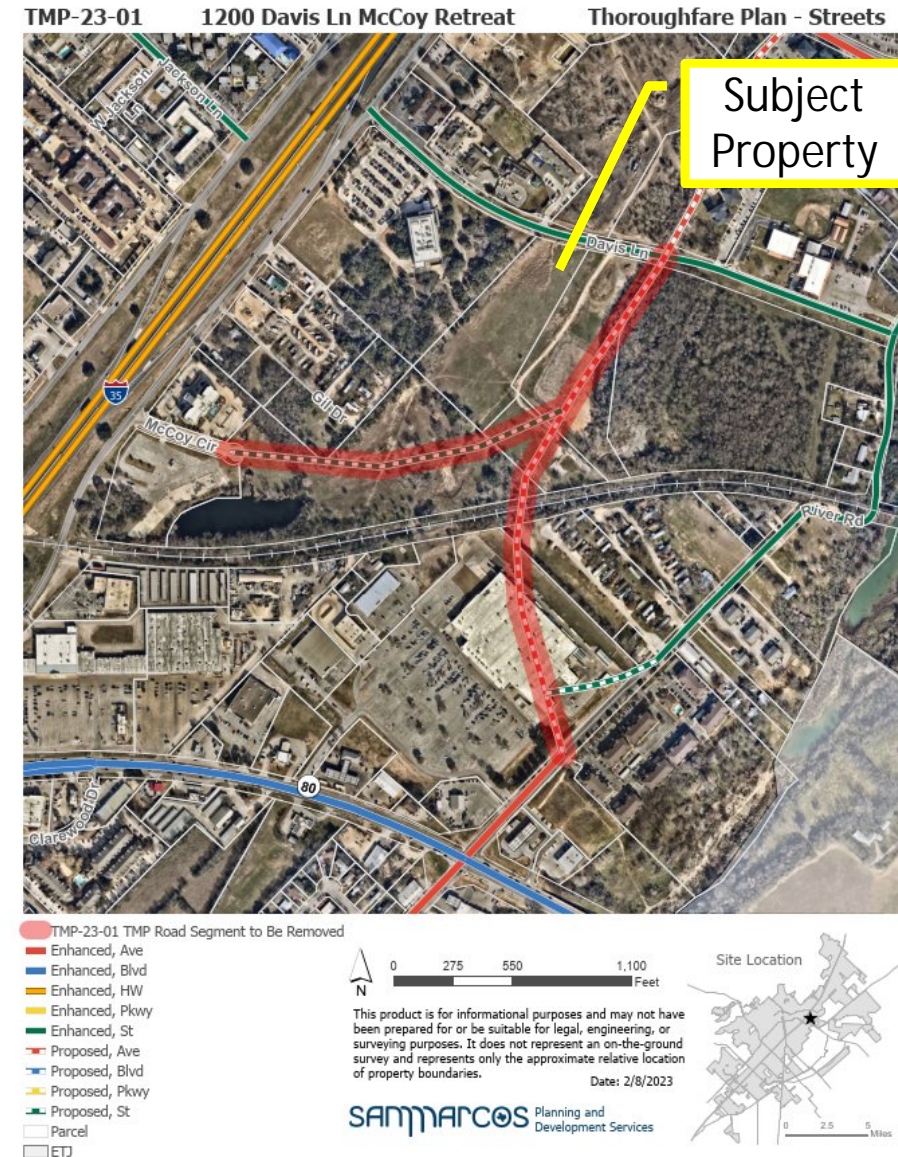
### **1200 Davis Ln McCoy Retreat TMP Amendment**

Receive a staff presentation and hold a discussion on a request by Eckermann Engineering, Inc on behalf of the McCoy Corporation to remove two proposed Thoroughfares in the City's Thoroughfare Plan generally located between Davis Lane, McCoy Circle and River Road. (J. Cleary)



# Context & History

- Proposal: Develop a Retreat / Special Event Center (CUP-23-04)
- Request: Remove 2 segments from the Transpiration Master Plan (TMP) Thoroughfare Plan Map







# Context & History

- Current Zoning: “FD” Future Development
  - Block perimeter requirements will not apply.
- Current proposed alignment would run through the existing Walmart to the south.





# Context & History

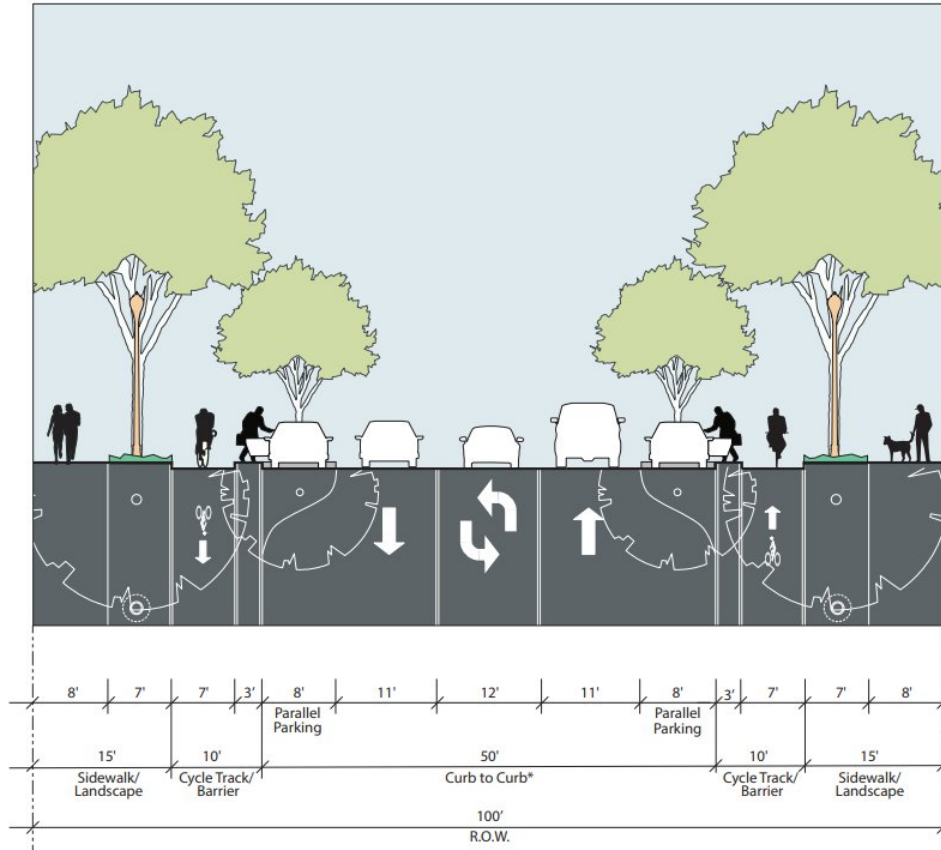
- Preferred Scenario Designation: High Intensity Zone
- “...a high density mixed-use area, with housing for many households...will have the most diverse options for transportation...a variety of services within walking distance.” (Vision San Marcos)





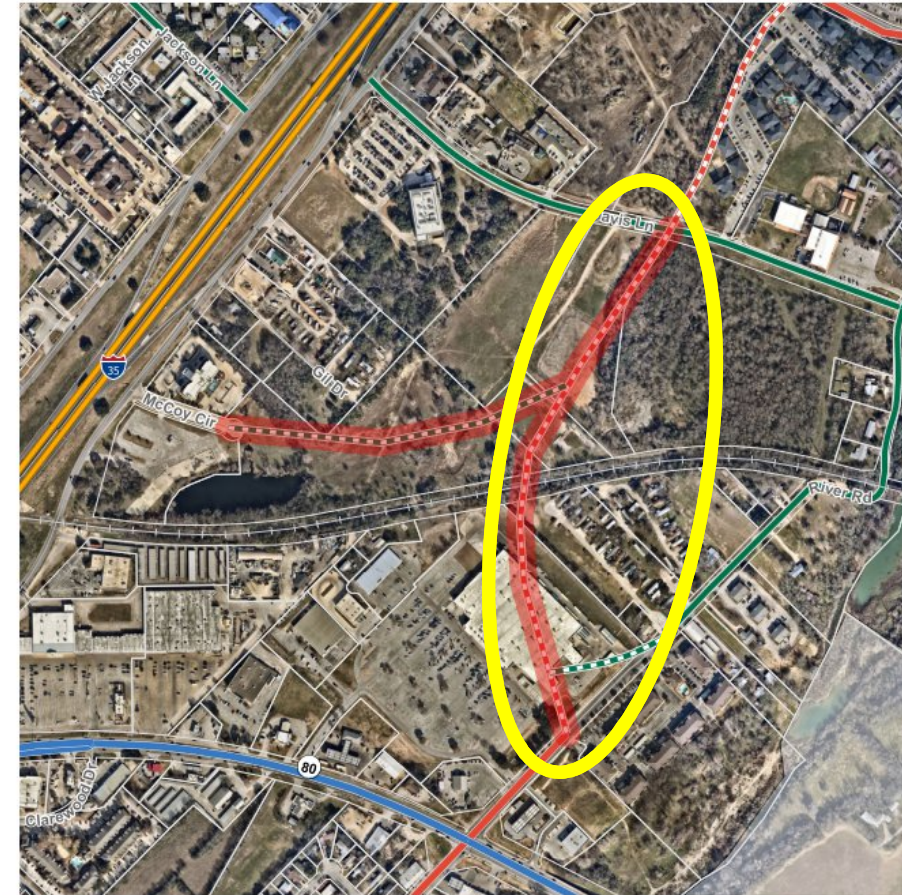


## Segment 1: Proposed Avenue (AV 100-50)



THREE-LANE AVENUE WITH ONE-WAY CYCLE TRACKS AND ON-STREET PARKING (AV 100-50)

### TMP-23-01 1200 Davis Ln McCoy Retreat Thoroughfare Plan - Streets



TMP-23-01 TMP Road Segment to Be Removed

- Enhanced, Ave
- Enhanced, Blvd
- Enhanced, HW
- Enhanced, Pkwy
- Enhanced, St
- Proposed, Ave
- Proposed, Blvd
- Proposed, Pkwy
- Proposed, St
- Parcel
- ETJ

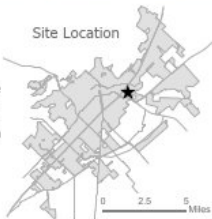


0 275 550 1,100 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023

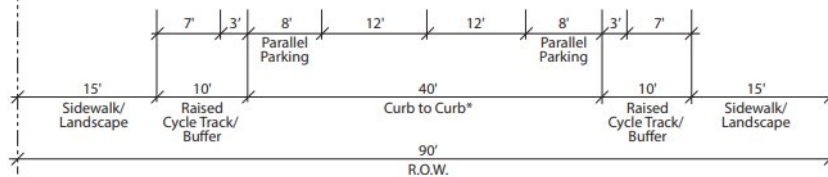
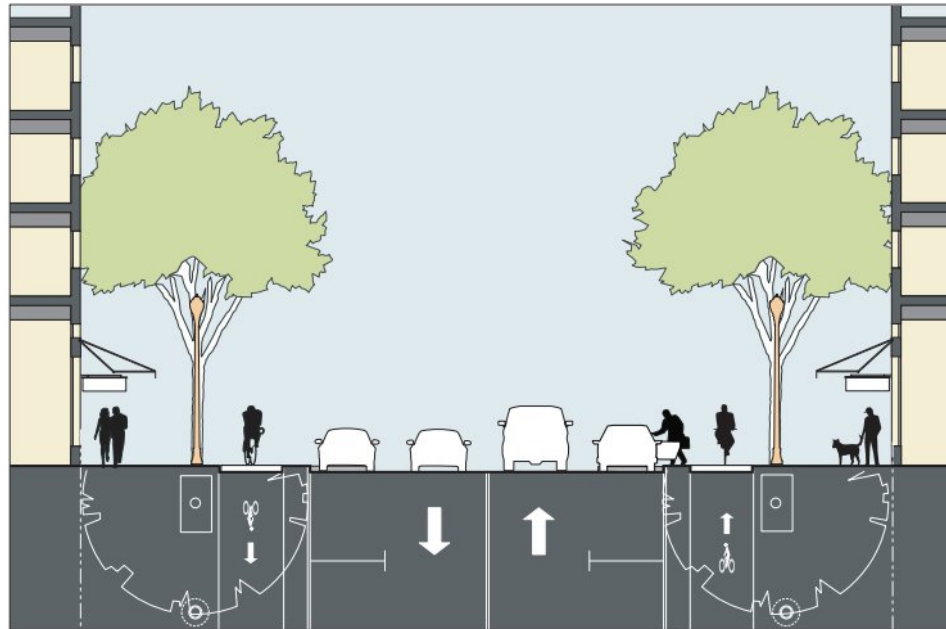
SAN MARCOS Planning and Development Services







## Segment 2: Proposed Street (CS 90-40)



TWO-LANE COMMERCIAL STREET WITH ONE-WAY CYCLE TRACKS AND ON-STREET PARKING (CS 90-40)

## TMP-23-01 1200 Davis Ln McCoy Retreat Thoroughfare Plan - Streets



TMP-23-01 TMP Road Segment to Be Removed

- Enhanced, Ave
- Enhanced, Blvd
- Enhanced, HW
- Enhanced, Pkwy
- Enhanced, St
- Proposed, Ave
- Proposed, Blvd
- Proposed, Pkwy
- Proposed, St
- Parcel
- ETJ

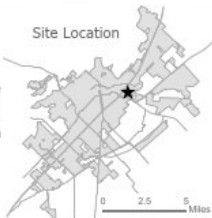


0 275 550 1,100 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/8/2023

**SAN MARCOS** Planning and Development Services

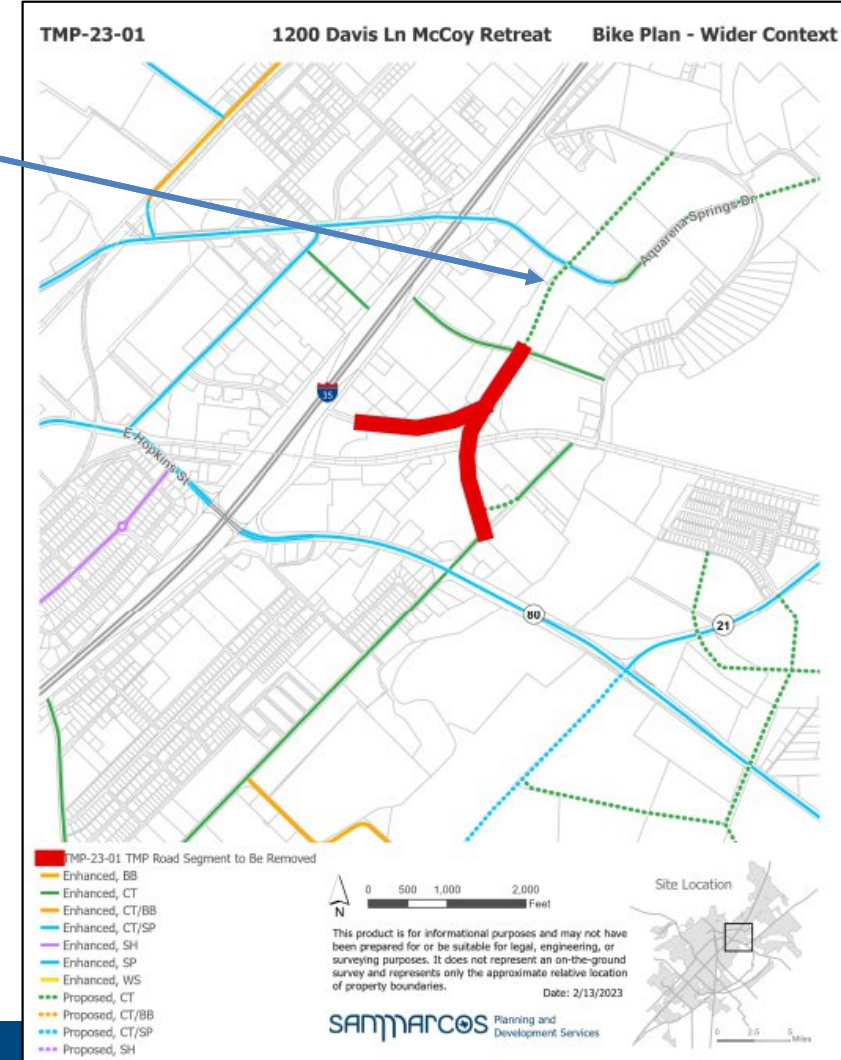
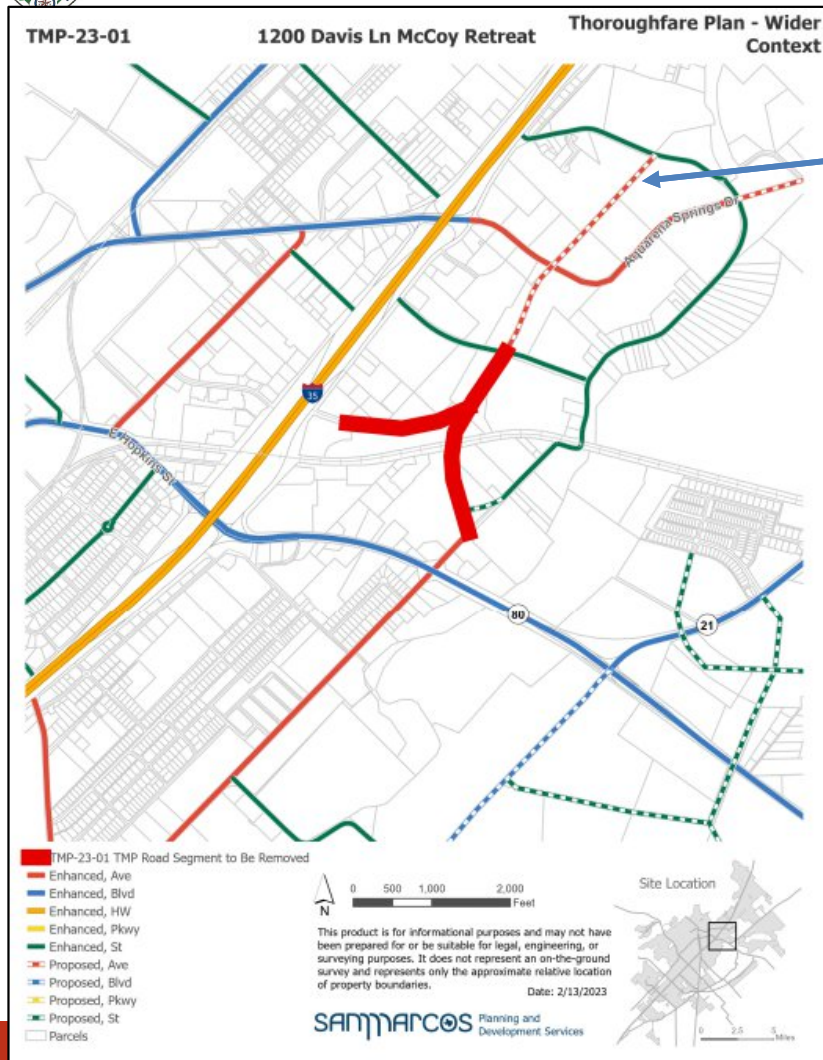






## Thoroughfare removal (Wider Context)

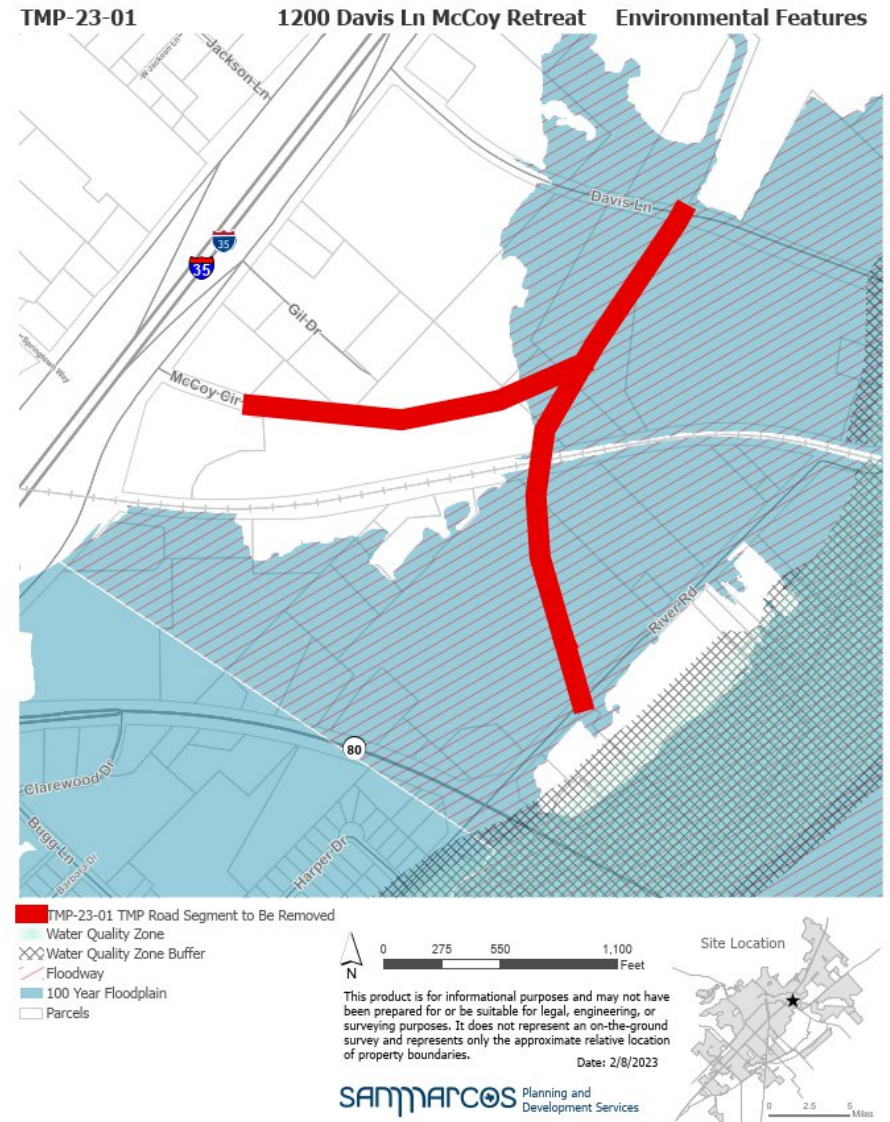
Segment 1  
extends to  
Uhland Rd.





# Environmental Considerations

- Located within the 100yr floodway and floodplain





# Thoroughfare Plan Amendment Process

- February 28<sup>th</sup> Planning & Zoning Commission Update Item (no action)
- March 15<sup>th</sup> Neighborhood Commission Update Item (no action)
- March 21<sup>st</sup> City Council Update item (no action)
- March 28<sup>th</sup> Planning & Zoning Commission Public Hearing
- April 18<sup>th</sup> City Council Public Hearing (no action)
- May 2<sup>nd</sup> City Council Public Hearing & First Reading
- May 16<sup>th</sup> City Council Ordinance Reconsideration (2nd Reading)



## Legislation Text

---

**File #:** CUP-23-04, **Version:** 1

---

**AGENDA CAPTION:**

CUP-23-04 (McCoy Special Event Center) Hold a public hearing and consider a request by Eckermann Engineering, on behalf of McCoy Corporation, for a Conditional Use Permit to allow a Special Event Facility, located near 1200 Davis Lane, and also described as an approximate 18.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an unplatted 2.81-acre lot described in document to McCoy Corporation, recorded in document No. 21040130, and a portion of Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North (C. Garrison)

**Meeting date:** February 28, 2023

**Department:** Planning and Development Services

**Amount & Source of Funding**

**Funds Required:** N/A

**Account Number:** N/A

**Funds Available:** N/A

**Account Name:** N/A

**Fiscal Note:**

**Prior Council Action:** N/A

**City Council Strategic Initiative:**

N/A

**Comprehensive Plan Element (s):**

- ☐ Economic Development - Choose an item.
- ☐ Environment & Resource Protection - Choose an item.
- ☐ Land Use - Choose an item.
- ☐ Neighborhoods & Housing - Choose an item.
- ☐ Parks, Public Spaces & Facilities - Choose an item.
- ☐ Transportation - Choose an item.
- ☐ Core Services
- ☒ Not Applicable

**Master Plan:**

N/A

**Background Information:**

The property is currently owned by McCoy's Building Supply and located adjacent to their Corporate Office. The applicant is proposing to construct a special event facility for retreats and training.

The Special Event Facility is a new use in the San Marcos Development Code which is subject to the requirements in Section 5.1.5.9. These requirements include: minimum lot size of 5 acres, transitional protective yards along all internal lot lines, compliance with the Noise sections of the Code, parking lot screening from the right of way, and the facility may not hold a TABC license. The Code also requires a site and floor plan be approved with the Conditional Use Permit (see attached). The development will be substantially similar to what is shown in the packet, with minor modification as may be required by Code when a detailed site / building permit is reviewed.

The subject property is not in a single-family area, therefore additional votes described in 5.1.5.9.B.8 are not required.

According to the applicant the proposed "Retreat Center is intended to be used for corporate training events by McCoy Corporation, company celebrations, and other similar private gatherings. The Retreat will provide not only a facility to house these events but will also incorporate outdoor natural areas such as trails, a fishing pond, and meadows that will allow visitors to enjoy the natural beauty of the property while continuing their career development."

**Council Committee, Board/Commission Action:**

N/A

**Alternatives:**

N/A

**Recommendation:**

Staff recommends **approval** of the request with the following conditions:

1. The Permit shall not expire.
2. Development is subject to all applicable codes and ordinances.





<b>Conditional Use Permit CUP-23-04</b>	<b>1200 Davis Lane McCoy Event Center</b>
---	---



### Summary

<b>Request:</b>	Special Event Facility Conditional Use Permit		
<b>Applicant:</b>	Sam Walker, P.E. Eckermann Engineering, Inc. PO Box 388 Lampasas, TX 76550	<b>Property Owner:</b>	McCoy Corporation 1350 IH35 N San Marcos, TX 78666
<b>CUP Expiration:</b>	N/A	<b>Type of CUP:</b>	Special Event Facility

### Notification

<b>Posted:</b>	1/27/2023	<b>Personal:</b>	1/27/2023
<b>Response:</b>	None as of the date of this report		

### Property Description

<b>Legal Description:</b>	MCCOY OFFICE SUBD, BLOCK A, Lot 2, ACRES 7.12		
<b>Location:</b>	On Davis Lane, approximately 950 feet east of IH35		
<b>Acreage:</b>	Approx 7.11 acres	<b>PDD/DA/Other:</b>	N/A
<b>Existing Zoning:</b>	Future Development (FD)	<b>Proposed Zoning:</b>	Same
<b>Existing Use:</b>	Vacant	<b>Proposed Use:</b>	Special Event Facility
<b>Preferred Scenario:</b>	High Intensity Zone	<b>Proposed Designation:</b>	Same
<b>CONA Neighborhood:</b>	Two Rivers East	<b>Sector:</b>	6
<b>Utility Capacity:</b>	Adequate	<b>Floodplain:</b>	Yes
<b>Historic Designation:</b>	N/A	<b>My Historic SMTX Resources Survey:</b>	No

### Surrounding Area

	<b>Zoning</b>	<b>Existing Land Use</b>	<b>Preferred Scenario</b>
<b>North of Property:</b>	MF-24	Vacant	High Intensity
<b>South of Property:</b>	FD	Vacant	High Intensity
<b>East of Property:</b>	FD	Vacant	High Intensity
<b>West of Property:</b>	GC	Commercial Offices	High Intensity

### Staff Recommendation

<input type="checkbox"/> Approval as Submitted	<input checked="" type="checkbox"/> <b>Approval with Conditions</b>	<input type="checkbox"/> Denial
1. The Permit shall not expire. 2. Development is subject to all applicable codes and ordinances.		
<b>Staff:</b> Craig Garrison	<b>Title :</b> Planner	<b>Date:</b> 2/22/2023

<b>Conditional Use Permit</b>	<b>1200 Davis Lane</b>
<b>CUP-23-04</b>	<b>Mccoy Event Center</b>



### History

This is a new request.

### Additional Analysis

The property is currently owned by McCoy's Building Supply and located adjacent to their Corporate Office. The applicant is proposing to construct a special event facility for retreats and training.

The Special Event Facility is a new use in the San Marcos Development Code which is subject to the requirements in Section 5.1.5.9. These requirements include: minimum lot size of 5 acres, transitional protective yards along all internal lot lines, compliance with the Noise sections of the Code, parking lot screening from the right of way, and the facility may not hold a TABC license. The Code also requires a site and floor plan be approved with the Conditional Use Permit (see attached). The development will be substantially similar to what is shown in the packet, with minor modification as may be required by Code when a detailed site / building permit is reviewed.

The subject property is not in a single-family area, therefore additional votes described in 5.1.5.9.B.8 are not required.

### Comments from Other Departments

<b>Police</b>	No Calls Reported
<b>Fire</b>	No Comment
<b>Public Services</b>	No Comment
<b>Engineering</b>	No Comment



Conditional Use Permit	1200 Davis Lane
CUP-23-04	Mccoy Event Center



Evaluation			Criteria for Approval (Sec. 2.8.3.4)
Consistent	Inconsistent	Neutral	
		<u>X</u>	The proposed use at the specified location is consistent with the policies embodied in the adopted comprehensive plan.
		<u>N/A</u>	The proposed use is consistent with any adopted neighborhood character study for the area. <b><i>Studies were not complete at the time of the request.</i></b>
<u>X</u>			The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations. <b><i>Special Event Facility is allowed with a Conditional Use Permit.</i></b>
<u>X</u>			The proposed use is compatible with and preserves the character and integrity of adjacent developments and neighborhoods, and includes improvements either on-site or within the public rights-of-way to mitigate development related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods. <b><i>Section 5.1.5.9 requires Transitional Protective Yards which are not typically required when a commercial development is adjacent to other commercial properties.</i></b>
<u>X</u>			The proposed use does not generate pedestrian and vehicular traffic which shall be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
		<u>X</u>	The proposed use incorporates roadway adjustments, traffic control devices or mechanisms and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development generated traffic on neighborhood streets.
<u>X</u>			The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties. <b><i>Section 5.1.5.9 requires Transitional Protective Yards which are not typically required when a commercial development is adjacent to other commercial properties.</i></b>
<u>X</u>			The proposed use meets the standards for the applicable district, or to the extent variations from such standards have been requested that such variations are necessary to render the use compatible with adjoining development and the neighborhood.



December 16, 2022

Shannon Mattingly  
Planning Director  
Planning and Development Services  
630 East Hopkins  
San Marcos, TX 78666

***Re: Conditional Use Permit Summary Letter  
McCoy Retreat Center  
San Marcos, Texas***

Dear Mrs. Mattingly:

Please accept this summary letter to support a Conditional Use Permit (CUP) application for the proposed McCoy Corporation Retreat Center located at 1200 Davis Lane in San Marcos, Texas. The proposed Retreat Center is anticipated to include a +/- 11,300 square foot training/special event center, associated parking, and ancillary improvements to support the development. The project is bordered to the north by the McCoy Corporation office building, the east by Davis Lane, the west by a manufactured home development and undeveloped land, and the south by the M. K. & T. Railroad right-of-way. The subject property consists of an approximate 18.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an unplatted 2.81-acre lot, and a portion of Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North. The three tracts are intended to be platted into one lot under a separate subdivision application.

The property is currently zoned Future Development (FD) which allows for the proposed Special Event Center use with a Conditional Use Permit. Based upon conversations with City Staff at a pre-development meeting on June 7, 2022 and subsequent communications, it was determined that the proposed development best fits the Special Event Facility use type which is defined in 5.1.5.9 of the Zoning Ordinance as:

A facility or hall available for special events with indoor and outdoor space that accommodates private functions such as weddings, quinceanera, and similar celebrations.

Upon completion the proposed Retreat Center is intended to be used for corporate training events by McCoy Corporation, company celebrations, and other similar private gatherings. The Retreat will provide not only a facility to house these events but will also incorporate outdoor natural areas such as trails, a fishing pond, and meadows that will allow visitors to enjoy the natural beauty of the property while continuing their career development. The proposed development will be a less intense use than surrounding developments and intends to include landscaping practices that preserve existing trees and promotes native

plants and species while selectively removing invasives. Please refer to the attached conceptual site plan and architectural plans for more information regarding the layout of the project. At this time no large entertainment facilities are intended to be included as part of this development.

In summary, we respectfully request that the City approve a Conditional Use Permit for the Special Event Center use within a Future Development zoning classification for the subject project. Upon approval, our team will work closely with City Staff to comply with applicable codes and regulations for the design of the project. If you should have any questions regarding this application or need additional information regarding the McCoy Retreat Center development, please feel free to contact us at 512-556-8160.

Sincerely,

ECKERMANN ENGINEERING, INC.



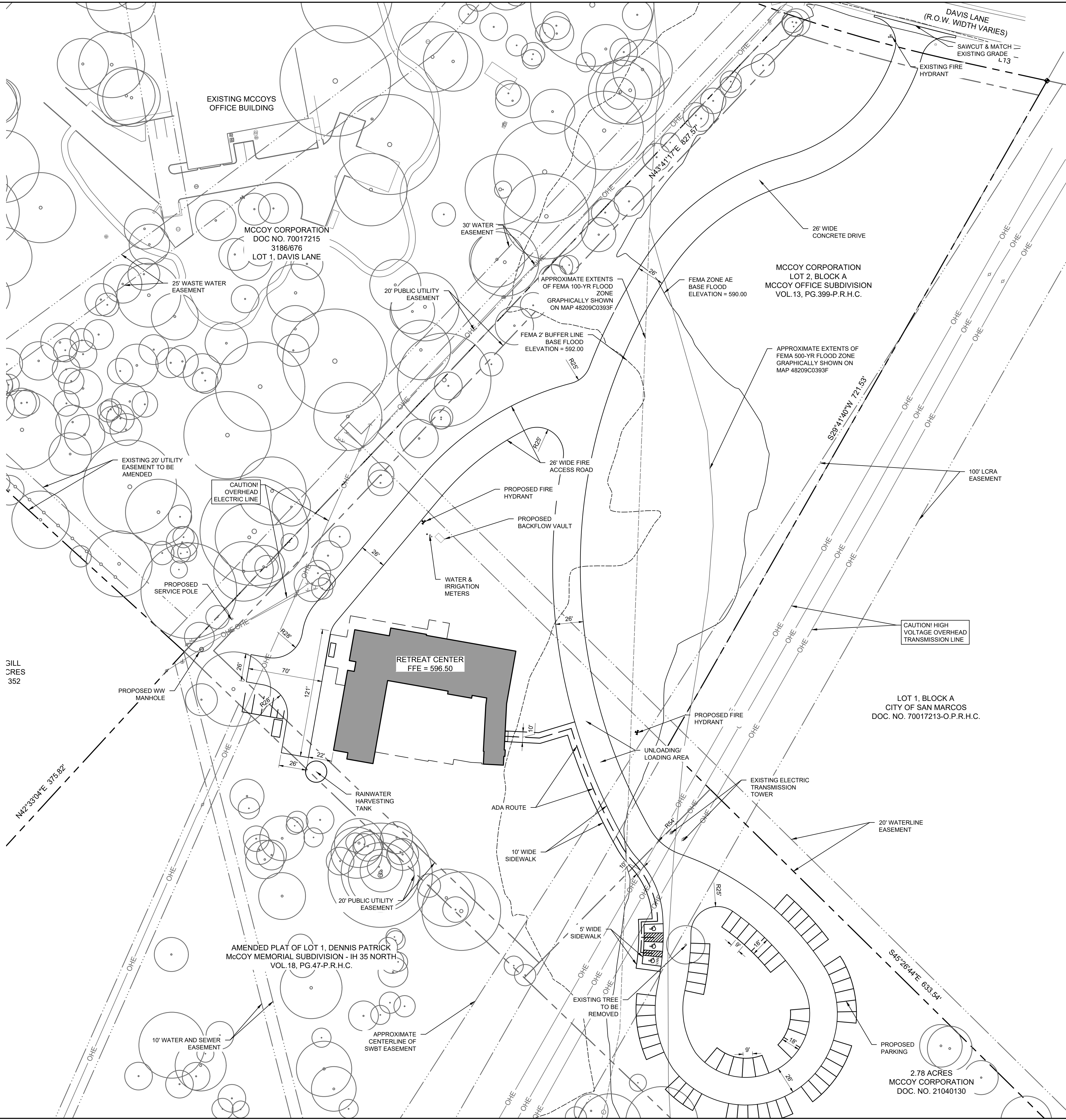
Sam N. Walker, P.E.  
Vice President

Attachments: Conditional Use Application  
Applicable Site and Floor Plans  
Owner's Authorizations  
Application Fee



12/16/2022

C:\Users\Quincy\Svennon\EEI Server\Dropbox\EEI Files\2022\Jobs\22012\_McCoys Retreat Center\Site\dwg\Sheets\22012\_Prelim\SITE.dwg



**LEGEND:**

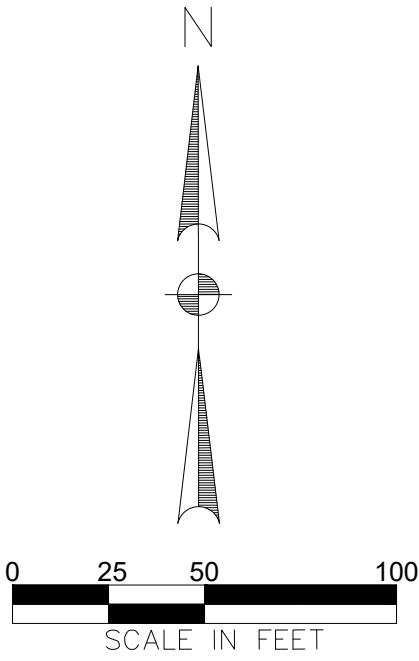
- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- ADA ROUTE
- BENCHMARK
- FIRE HYDRANT

**NOTES:**

- SURVEY INFORMATION PROVIDED BY CUPLIN AND ASSOCIATES, INC. RECEIVED ELECTRONICALLY SEPTEMBER 2022. NO WARRANTY IS EXPRESSED AS TO ITS ACCURACY.
- FOR CONCEPT PLANNING PURPOSES ONLY. NOT FOR PERMITTING OR CONSTRUCTION.

**SITE INFORMATION:**

ZONING	FD (FUTURE DEVELOPMENT)
RETREAT CENTER SQUARE FOOTAGE (SF)	11,365 SF
PASSENGER CAR PARKING REQUIRED (1/200SF GROSS FLOOR AREA)	57 SPACES
STANDARD PARKING PROVIDED (10'X20')	55 SPACES
HANDICAP PARKING PROVIDED	3 SPACES
TOTAL PARKING PROVIDED	57 SPACES



**ECKERMANN  
ENGINEERING, INC.**

202 SPRING HO AVENUE  
LAWRENCE, TEXAS 76850  
PHONE: 512-558-8160  
TBP# FIRM NO. F-10496

MCCOY'S RETREAT CENTER  
1200 DAVIS LANE  
SAN MARCOS, TEXAS 78666



SITE PLAN IMPROVEMENTS

**CONCEPTUAL  
SITE PLAN**

**PRELIMINARY**

FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

SAM N. WALKER, P.E. 101708  
NAME P.E. NO.  
12/16/2022  
DATE

Project No.: 22012  
Issued: 12/16/2022  
Drawn By: QS, TM  
Checked By: SW

C.01

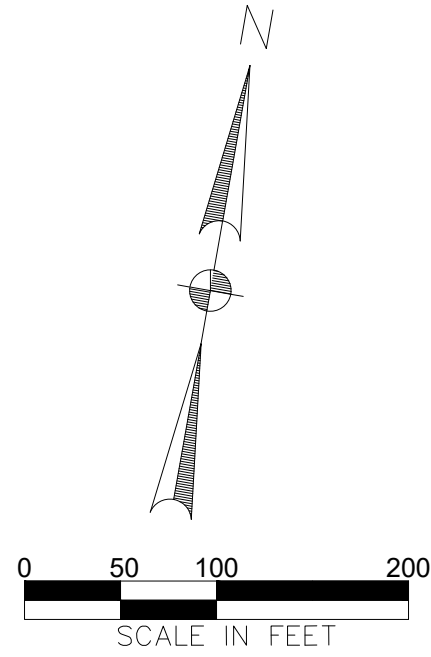
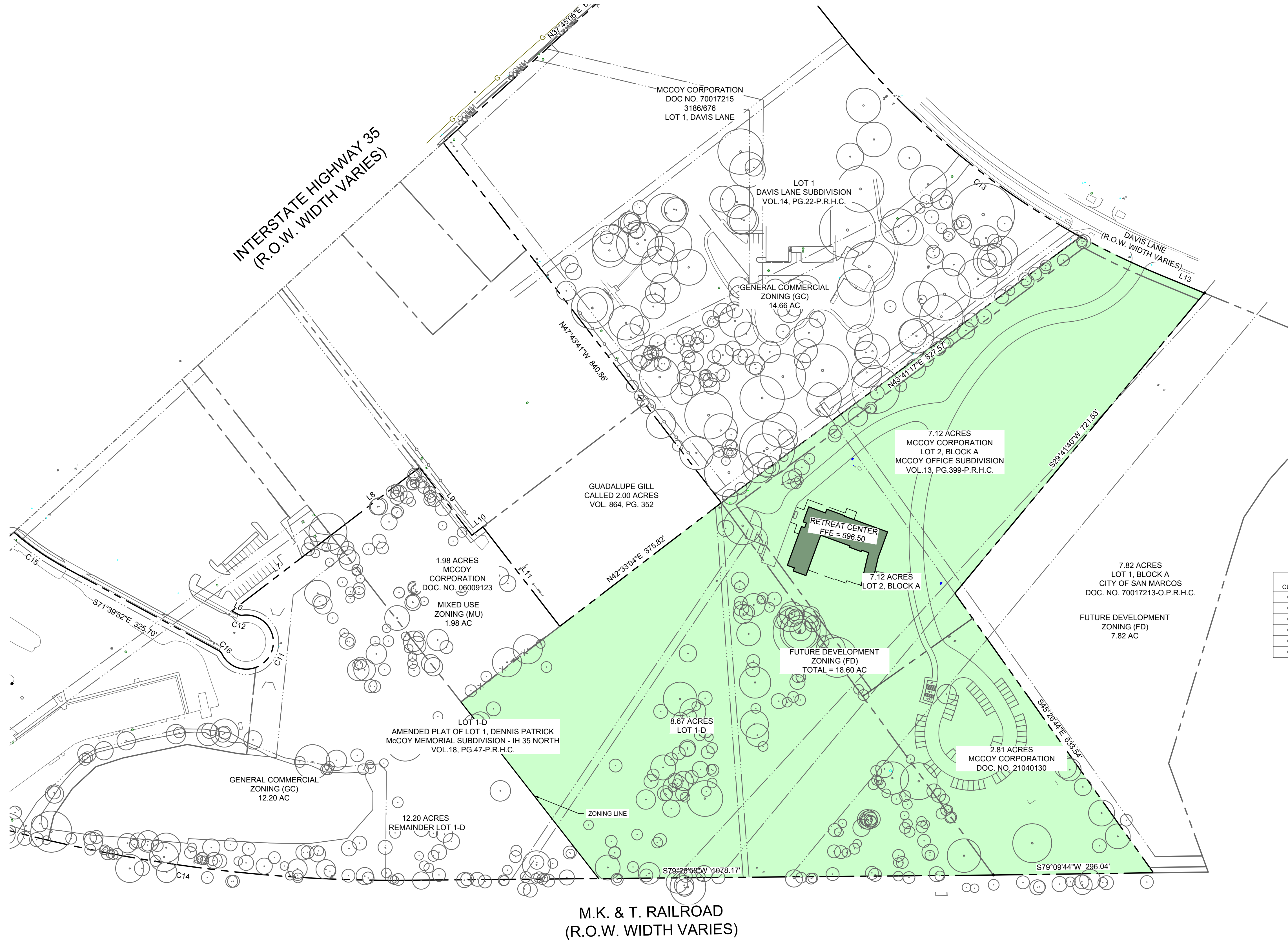
Sheet 1 OF 2





12/16/2022

C:\Users\Quincy\OneDrive\Files\2022\Johns\22012\_McCoy's Retreat Center\Sheet\22012\_CUPArea.dwg



LEGEND:

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- SETBACK LINE
- BENCHMARK

PROPOSED FUTURE DEVELOPMENT ZONING WITH  
CONDITIONAL USE PERMIT

NOTES:

- SURVEY INFORMATION PROVIDED BY CUPLIN AND ASSOCIATES, INC., RECEIVED ELECTRONICALLY SEPTEMBER 2022. NO WARRANTY IS EXPRESSED AS TO ITS ACCURACY.
- FOR CONCEPT PLANNING PURPOSES ONLY. NOT FOR PERMITTING OR CONSTRUCTION.

CURVE TABLE				
CURVE	RADIUS	ARC LEN	CHD LEN	CHD BRG
C11	50.00'	219.89'	80.92'	N18°15'16"E
C12	13.00'	8.01'	7.88'	N89°43'41"W
C13	1467.39'	745.20'	737.22'	S63°12'22"E
C14	2805.27'	836.21'	833.12'	S87°54'47"W
C15	518.26'	112.73'	112.51'	S65°13'37"E
C16	13.00'	8.17'	8.04'	S53°39'04"E

LINE TABLE		
LINE	BEARING	DISTANCE
L6	N71°38'53"W	13.94'
L7	N42°35'59"E	230.36'
L8	N42°31'43"E	206.28'
L9	S47°42'33"E	158.44'
L10	N42°35'50"E	25.55'
L11	S47°46'36"E	232.32'
L12	S89°37'48"E	25.24'
L13	S77°40'53"E	86.25'
L14	N83°58'49"W	104.80'
L15	N83°29'09"W	86.78'
L16	N37°44'05"E	126.13'

Revisions		Date	App.
No.			

E

ECKERMANN  
ENGINEERING, INC.

202 SPRING HO AVENUE  
LAWPARK, TEXAS 76550  
PHONE: 512-558-8160  
TBE FIRM NO. F-10496

MCCOY'S  
BUILDING SUPPLY

MCCOY'S RETREAT CENTER  
1200 DAVIS LANE  
SAN MARCOS, TEXAS 78666

SITE PLAN IMPROVEMENTS

CONDITIONAL  
USE PERMIT  
MAP

PRELIMINARY  
FOR INTERIM REVIEW ONLY

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT INTENDED FOR REGULATORY APPROVAL, PERMIT, BIDDING OR CONSTRUCTION PURPOSES. THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:

SAM N. WALKER, P.E. 101708  
NAME P.E. NO.  
12/16/2022  
DATE

Project No.: 22012  
Issued: 12/16/2022  
Drawn By: QS, TM  
Checked By: SW

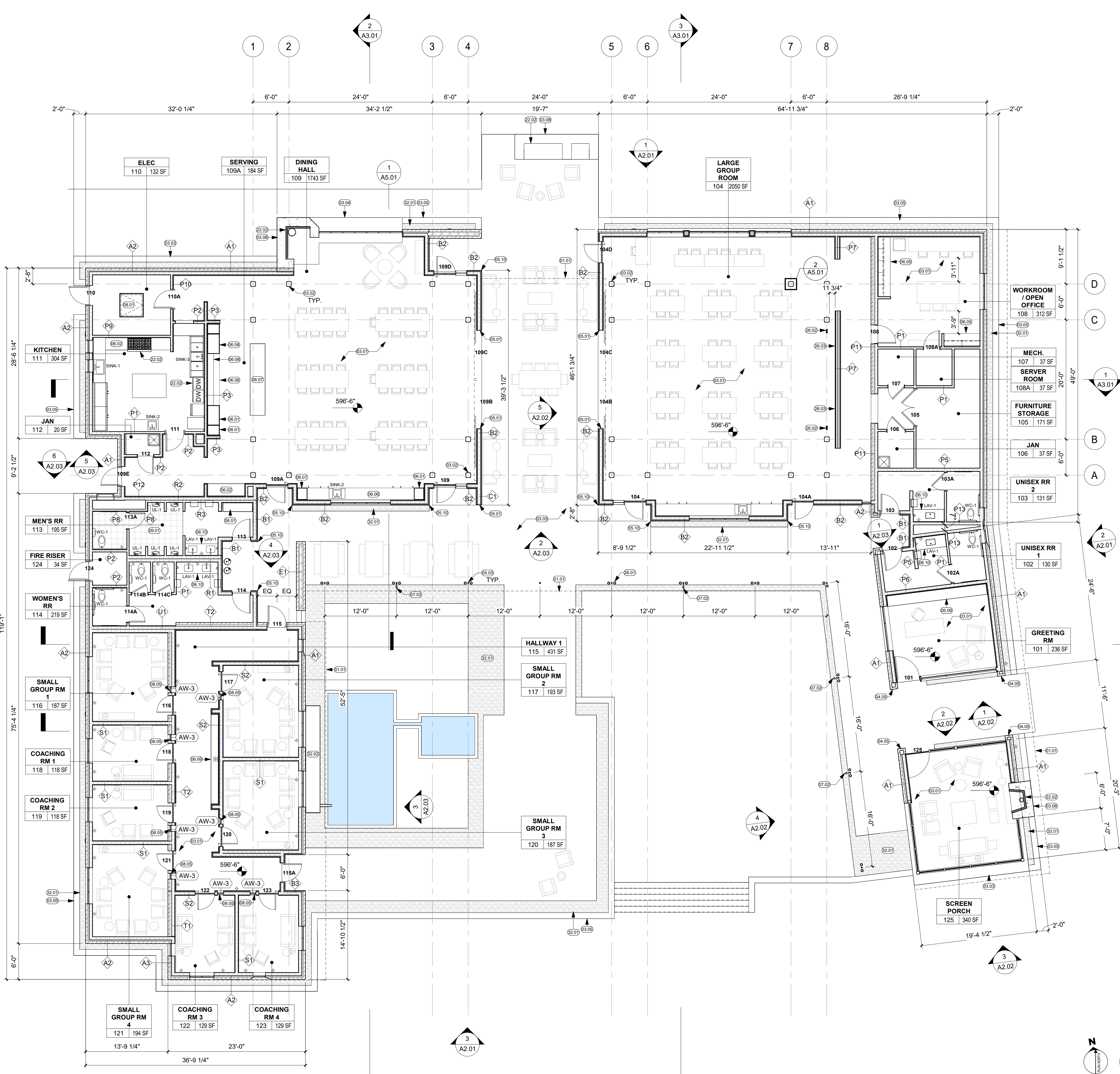
C.02  
Sheet 1 OF 2





GENERAL NOTES - FIRE ALARM	
1	DELEGATED DESIGN: FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR AND SHALL PROVIDE COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.
3	ALL WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES AND SHALL BE ALIGNED VERTICALLY.
4	PROVIDE AN EMPTY BOX AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL FIRE ALARM DEVICES UNLESS NOTED OTHERWISE. ALL FIRE ALARM DEVICES LOCATION ON WALLS TO DECK AND/OR SOUND INSULATED WALLS SHALL BE PROVIDED WITH 1/2-INCH EMT CONDUIT AND PULL STRING INTO ACCESSIBLE SPACE.
5	FIRE ALARM CONTRACTOR SHALL PROVIDE ALL PARTS, COMPONENTS, HARDWARE, WIRING, LABOR, ETC., NECESSARY FOR A COMPLETE AND FUNCTIONAL FIRE ALARM AND NOTIFICATION SYSTEM, IN COMPLIANCE WITH NFPA 72 AND ALL LOCALLY APPLICABLE CODES AND STANDARDS. FIRE ALARM REQUIREMENTS SHALL BE PROVIDED BY FIRE ALARM CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE ALARM INSTALLATION DRAWINGS TO THE JURISDICTION HAVING AUTHORITY FOR APPROVAL AND TO THE ARCHITECT AND ALL TRADES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH OTHER TRADES AND SHALL PROVIDE AND INSTALL ALL FIRE ALARM DEVICES AND EQUIPMENT AS REQUIRED. IN ADDITION THE FIRE SPRINKLER/STANDPIPE/FIRE ALARM WORK MUST IN ACCORDANCE WITH COMMENTS BELOW: a. A CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL MUST DO THE WORK. b. THE LICENSED CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL AFTER THE BUILDING PERMIT IS APPROVED. THESE SHOP DRAWINGS MUST BE APPROVED BY THE FIRE DEPARTMENT AND REVIEWED BY THE ARCHITECT PRIOR TO THE CONTRACTOR BEGINNING WORK. c. ALL WORK SHALL COMPLY WITH THE CURRENT AND APPLICABLE EDITION OF NFPA 72 STANDARD AND INTERNATIONAL FIRE CODE (IFC).

GENERAL NOTES - FIRE PROTECTION & FIRE SUPPRESSION SYSTEM	
1	DELEGATED DESIGN: A LICENSED FIRE SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL ALL NEW SPRINKLER COMPONENTS REQUIRED FOR A COMPLETE FIRE PROTECTION SYSTEM FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	INSTALLATION OF ALL EQUIPMENT SHALL CONFORM WITH THE LATEST APPROVED STANDARD OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FOR INSTALLATION OF A HYDRAULICALLY SIZED SPRINKLER SYSTEM FOR THIS APPLICATION AND THE MOST RECENTLY ADOPTED EDITION OF THE INTERNATIONAL FIRE CODE. THE OCCUPANCIES INDICATED ON THE DRAWINGS SHALL DETERMINE THE DESIGN OF THE SPRINKLER SYSTEM. ALL PIPING SHALL BE SCHEDULE 40 STEEL MATERIALS AND SHALL CONFORM WITH ANSI/ASTM A53 SPECIFICATIONS.
3	ALL ASPECTS OF THE FIRE PROTECTION SYSTEMS, INCLUDING EQUIPMENT AND INSTALLATION SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. SHOP DRAWINGS OF THE ENTIRE FIRE PROTECTION SYSTEM, DRAWN IN CONFORMANCE WITH CERTIFIED SPRINKLER DESIGNER REQUIREMENTS, SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO ANY INSTALLATION WORK BEING PERFORMED. THE FORMAT OF THE SHOP DRAWINGS AND ANY REQUIRED CALCULATIONS PRESENTED SHALL CONFORM TO ALL REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT THE PROPER WATER SUPPLY, AS REQUIRED BY NFPA 13, IS AVAILABLE TO THE PIPE SIZING METHOD USED FOR DESIGN. WHERE APPLICABLE, SPRINKLER HEADS SHALL BE INSTALLED CENTER-OF-TILE IN ACOUSTICAL PANEL CEILING SYSTEMS. WHERE STRUCTURE IS EXPOSED SPRINKLER HEADS SHALL BE ALIGNED WITH STRUCTURAL CENTER-OF-BAYS OR STRUCTURAL GRID LINES. ANY SPRINKLER PIPING EXPOSED TO VIEW SHALL BE PAINTED. SPRINKLER HEADS IN GYPSUM BOARD, PLASTER OR STUCCO CEILINGS SHALL BE CONCEALED TYPE HEADS. CONTRACTOR SHALL INCLUDE IN BID COST ALLOWANCES FOR ANY ADDITIONAL PIPE, SPRINKLER HEADS, ETC., REQUIRED TO ACCOMPLISH THESE SPACING AND FINISH REQUIREMENTS. CLOSELY COORDINATE HEAD LOCATIONS WITH OTHER MEP DEVICES INCLUDING AIR DEVICES, LIGHT FIXTURES, CEILING FANS, ETC.
4	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING FULL COORDINATION WITH OTHER TRADES AND CONTRACTORS TO ACCOMPLISH THE WORK AS SHOWN AND NOTED IN THESE CONTRACT DOCUMENTS, WHICH CONSIST OF ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL COMPARE THE DRAWINGS OF OTHER TRADES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND ARCHITECT.
5	ALL ABOVE GROUND FIRE PROTECTION PIPING EXPOSED TO TEMPERATURES BELOW 40 DEG. F SHALL BE PROTECTED BY AN ELECTRIC HEAT TRACE SYSTEM SPECIFICALLY LISTED FOR USE IN FIRE PROTECTION SYSTEMS. HEAT TRACE SHALL MAINTAIN PIPE TEMPERATURE ABOVE 40 DEG. F. HEAT TRACE SYSTEMS USED ON BRANCH LINES SHALL BE SPECIFICALLY LISTED FOR USE ON BRANCH LINES. HEAT TRACE SYSTEM SHALL BE SUPERVISED BY THE BUILDING FIRE ALARM SYSTEM.



GENERAL NOTES	
1	SEE SHEET G0.40 FOR WALL & PARTITION TYPES
2	SEE SHEET A6.00 FOR WINDOW TYPES & SCHEDULES
3	SEE SHEET A6.50 FOR DOOR TYPES & SCHEDULES
4	SEE SHEET G0.50 FOR FINISH, EQUIPMENT, AND ACCESSORIES SCHEDULE
5	ALL DIMENSIONS ARE TO STRUCTURAL GRID OR FACE OF GWB/SHEATHING UNLESS NOTED OTHERWISE
6	ALL WINDOW LOCATION DIMENSIONS ARE REFERENCED TO THE OUTSIDE OF WINDOW UNIT. SEE SHEET A6.00 FOR ROUGH OPENING DIMENSIONS.
7	ALL EXTERIOR ELECTRICAL OUTLETS & HOSE BIBS ARE LOCATED 1'-3" A.F.F. TO CENTERLINE.
8	FIRE ALARM AND FIRE SUPPRESSION SYSTEM TO BE INSTALLED THROUGHOUT ENTIRE BUILDING.

KEYNOTES	
03.01	CONCRETE FLOOR WITH DIAMOND POLISH
03.02	CONCRETE CHAMFERED COLUMN, REF: STRUCTURAL
03.03	CONCRETE FLOOR WITH LIGHT SAND BLAST FINISH
03.04	ARCHITECTURAL C.I.P. CONCRETE HEARTH
03.05	ARCHITECTURAL C.I.P. CONCRETE SITE WALL, REF: STRUCTURAL
03.06	ARCHITECTURAL C.I.P. FIRE PLACE, REF: STRUCTURAL
03.08	CUSTOM CAST IN PLACE CONCRETE FIRE PIT
04.05	STONE WALL RETURN
05.01	14" PLATE STEEL WALL CAP: COUNTER SUNK SCREWS AT 24" O.C. FINISH TBD
05.03	STEEL COLUMN, REF: STRUCTURAL
05.09	CUSTOM STEEL BOOKCASE
05.10	BENT PLATE STEEL TRIM AT STONE WALL
06.01	CUSTOM CASEWORK; FINISH: TBD
06.02	CUSTOM CASEWORK WITH COUNTERTOP; FINISH: TBD
06.05	CUSTOM PAINT GRADE CABINETY WITH P-LAM COUNTERTOP
06.06	CUSTOM PAINTED CABINETY WITH DARK STONE COUNTERS
06.07	CUSTOM WOOD VENEER SERVING ISLAND WITH LIGHT STONE COUNTER; FINISH: TRANSPARENT
06.08	CUSTOM CASEWORK; FINISH: TRANSPARENT
06.09	4" THICK WOOD SLAB COUNTERTOP
06.10	WOOD SLAB COUNTERTOP WITH STONE FINISH; COLOR TBD
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
08.01	CRAWL SPACE ACCESS
08.05	ALUMINUM WINDOW SYSTEM
09.01	TILE FLOORING
22.02	GAS FIRED APPLIANCES
26.01	LIGHT FIXTURE, REF: RCP AND ELECTRICAL
26.02	FLOOR BOX, REF: ELECTRICAL
26.03	LARGE-FORMAT TV OR ELECTRIC PROJECTION SCREEN, RECESSED IN WALL
32.01	GRAVEL
32.02	CUSTOM WATER FOUNTAIN

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION

© COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE PERMISSION OF A REPRESENTATIVE OF ANDERSSON WISE ARCHITECTS INC.

**ANDERSSON / WISE**  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

**MCCOY'S RETREAT**  
PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22  
Δ REVISIONS

DESIGN PHASE SUBMITTAL

ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

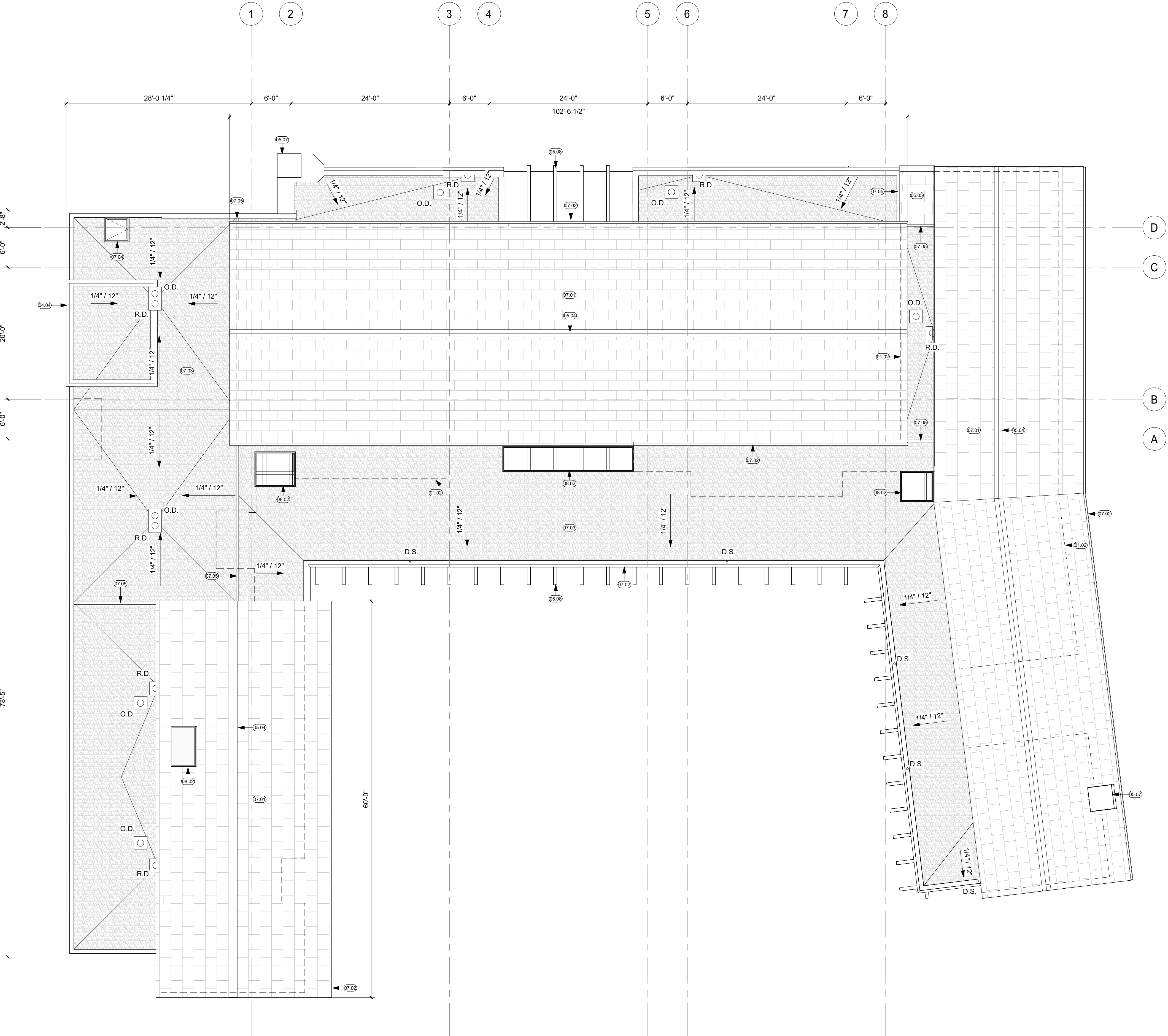
CAMPUS FLOOR PLAN

**A1.01**



GENERAL NOTES - FIRE ALARM	
1	DELEGATED DESIGN: FIRE ALARM SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR AND SHALL PROVIDE COMPLIANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	ELECTRICAL CONTRACTOR SHALL PROVIDE CONTROL POWER AND CONNECTION OF SMOKE DAMPERS TO BUILDING FIRE ALARM SYSTEM AS REQUIRED. PROVIDE ADDITIONAL SMOKE DETECTORS AS REQUIRED FOR ACTIVATION OF DAMPERS. COORDINATE WITH MECHANICAL CONTRACTOR.
3	ALL WALL MOUNTED FIRE ALARM DEVICES LOCATED ADJACENT TO LIGHT SWITCHES AND SHALL BE ALIGNED VERTICALLY.
4	PROVIDE AN EMPTY BOX AND PULL STRING TO ACCESSIBLE CEILING SPACE FOR ALL FIRE ALARM DEVICES UNLESS NOTED OTHERWISE. ALL FIRE ALARM DEVICES LOCATION ON WALLS TO DECK AND/OR SOUND INSULATED WALLS SHALL BE PROVIDED WITH ¾-INCH EMT CONDUIT AND PULL STRING INTO ACCESSIBLE SPACE.
5	FIRE ALARM CONTRACTOR SHALL PROVIDE ALL PARTS, COMPONENTS, HARDWARE, WIRING, LABOR, ETC., NECESSARY FOR A COMPLETE AND FUNCTIONAL FIRE ALARM AND NOTIFICATION SYSTEM, IN COMPLIANCE WITH NFPA 72 AND ALL LOCALLY APPLICABLE CODES AND STANDARDS. FIRE ALARM REQUIREMENTS SHALL BE PROVIDED BY FIRE ALARM CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE ALARM INSTALLATION DRAWINGS TO THE JURISDICTION HAVING AUTHORITY FOR APPROVAL AND TO THE ARCHITECT AND ALL TRADES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH OTHER TRADES AND SHALL PROVIDE AND INSTALL ALL FIRE ALARM DEVICES AND EQUIPMENT AS REQUIRED. IN ADDITION THE FIRE SPRINKLER/STANDPIPE/FIRE ALARM WORK MUST IN ACCORDANCE WITH COMMENTS BELOW: a. A CONTRACTOR PROPERLY LICENSED BY THE STATE FIRE MARSHAL MUST DO THE WORK. b. THE LICENSED CONTRACTOR MUST SUBMIT SHOP DRAWINGS TO THE LOCAL FIRE DEPARTMENT FOR REVIEW AND APPROVAL AFTER THE BUILDING PERMIT IS APPROVED. THESE SHOP DRAWINGS MUST BE APPROVED BY THE FIRE DEPARTMENT AND REVIEWED BY THE ARCHITECT PRIOR TO THE CONTRACTOR BEGINNING WORK. c. ALL WORK SHALL COMPLY WITH THE CURRENT AND APPLICABLE EDITION OF NFPA 72 STANDARD AND INTERNATIONAL FIRE CODE (IFC).

GENERAL NOTES - FIRE PROTECTION & FIRE SUPPRESSION SYSTEM	
1	DELEGATED DESIGN: A LICENSED FIRE SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL ALL NEW SPRINKLER COMPONENTS REQUIRED FOR A COMPLETE FIRE PROTECTION SYSTEM FOR THE BUILDING IN ACCORDANCE WITH ALL APPLICABLE CODES AND THE JURISDICTION HAVING AUTHORITY.
2	INSTALLATION OF ALL EQUIPMENT SHALL CONFORM WITH THE LATEST APPROVED STANDARD OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) FOR INSTALLATION OF A HYDRAULICALLY SIZED SPRINKLER SYSTEM FOR THIS APPLCAITON AND THE MOST RECENTLY ADOPTED EDITION OF THE INTERNATIONAL FIRE CODE. THE OCCUPANCIES INDICATED ON THE DRAWINGS SHALL DETERMINE THE DESIGN OF THE SPRINKLER SYSTEM. ALL PIPING SHALL BE SCHEDULE 40 STEEL MATERIALS AND SHALL CONFORM WITH ANSI/ASTM A53 SPECIFICATIONS.
3	ALL ASPECTS OF THE FIRE PROTECTION SYSTEMS, INCLUDING EQUIPMENT AND INSTALLATION SHALL CONFORM TO ALL OF THE REQUIREMENTS OF THE LOCAL FIRE DEPARTMENT. SHOP DRAWINGS OF THE ENTIRE FIRE PROTECTION SYSTEM, DRAWN IN CONFORMANCE WITH CERTIFIED SPRINKLER DESIGNER REQUIREMENTS, SHALL BE SUBMITTED TO THE LOCAL FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO ANY INSTALLATION WORK BEING PERFORMED. THE FORMAT OF THE SHOP DRAWINGS AND ANY REQUIRED CALCULATIONS PRESENTED SHALL CONFORM TO ALL REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING THAT THE PROPER WATER SUPPLY, AS REQUIRED BY NFPA 13, IS AVAILABLE TO THE PIPE SIZING METHOD USED FOR DESIGN. WHERE APPLICABLE, SPRINKLER HEADS SHALL BE INSTALLED CENTER-OF-TILE IN ACOUSTICAL PANEL CEILING SYSTEMS. WHERE STRUTURE IS EXPOSED SPRINKLER HEADS SHALL BE ALIGNED WITH STUCTURAL CENTER-OF-BAYS OR STRUCTURAL GRID LINES. ANY SPRINKLER PIPING EXPOSED TO VIEW SHALL BE PAINTED. SPRINKLER HEADS IN GYPSUM BOARD, PLASTER OR STUCCO CEILINGS SHALL BE CONCEALED TYPE HEADS. CONTRACTOR SHALL INCLUDE IN BID COST ALLOWANCES FOR ANY ADDITIONAL PIPE, SPRINKLER HEADS, ETC., REQUIRED TO ACCOMPLISH THESE SPACING AND FINISH REQUIREMENTS. CLOSELY COORDINATE HEAD LOCATIONS WITH OTHER MEP DEVICES INCLUDING AIR DEVICES, LIGHT FIXTURES, CEILING FANS, ETC.
4	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING FULL COORDINATION WITH OTHER TRADES AND CONTRACTORS TO ACCOMPLISH THE WORK AS SHOWN AND NOTED IN THESE CONTRACT DOCUMENTS, WHICH CONSIST OF ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS. THE CONTRACTOR SHALL COMPARE THE DRAWINGS OF OTHER TRADES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AND ARCHITECT.
5	ALL ABOVE GROUND FIRE PROTECTION PIPING EXPOSED TO TEMPERATURES BELOW 40 DEG. F SHALL BE PROTECTED BY AN ELECTRIC HEAT TRACE SYSTEM SPECIFICALLY LISTED FOR USE IN FIRE PROTECTION SYSTEMS. HEAT TRACE SHALL MAINTAIN PIPE TERMPERATURE ABOVE 40 DEG. F. HEAT TRACE SYSTEMS USED ON BRANCH LINES SHALL BE SPECIFICALLY LISTED FOR USE ON BRANCH LINES. HEAT TRACE SYSTEM SHALL BE SUPERVISED BY THE BUILDING FIRE ALARM SYSTEM.



GENERAL NOTES	
1	SEE SHEET G0.40 FOR WALL & PARTITION TYPES
2	SEE SHEET A6.00 FOR WINDOW TYPES & SCHEDULES
3	SEE SHEET A6.50 FOR DOOR TYPES & SCHEDULES
4	SEE SHEET G0.50 FOR FINISH, EQUIPMENT, AND ACCESSORIES SCHEDULE
5	ALL DIMENSIONS ARE TO STRUCTURAL GRID OR FACE OF GWB/SHEATHING UNLESS NOTED OTHERWISE
6	ALL WINDOW LOCATION DIMENSIONS ARE REFERENCED TO THE OUTSIDE OF WINDOW UNIT. SEE SHEET A6.00 FOR ROUGH OPENING DIMENSIONS.
7	ALL EXTERIOR ELECTRICAL OUTLETS & HOSE BIBS ARE LOCATED 1'-3" A.F.F. TO CENTERLINE.
8	FIRE ALARM AND FIRE SUPPRESSION SYSTEM TO BE INSTALLED THROUGHOUT ENTIRE BUILDING.

KEYNOTES	
01.02	LINE OF BUILDING BELOW
04.04	STONE MECHANICAL SCREEN WALL
05.04	METAL RIDGE CAP
05.05	CUSTOM COPPER SCUPPER
05.07	METAL CHIMNEY CAP & SPARK ARRESTOR
05.08	STEEL CANOPY SYSTEM; REF: STRUCTURAL
07.01	METAL ROOFING
07.02	METAL GUTTER & DOWNSPOUT SYSTEM
07.03	RIVER ROCK BALLAST ON MEMBRANE ROOF
07.04	ROOF HATCH
07.05	ROOF CURB
08.02	SKYLIGHT

NOT FOR  
REGULATORY  
APPROVAL.  
PERMITTING OR  
CONSTRUCTION

©  
COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE  
ARCHITECT AND MAY NOT BE REPRODUCED  
WITHOUT THE PERMISSION OF A  
REPRESENTATIVE OF ANDERSSON WISE  
ARCHITECTS INC.



ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

## MCCOY'S RETREAT

PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

ISSUE DATE : 07/29/22  
Δ REVISIONS

## DESIGN PHASE SUBMITTAL

ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

## ROOF PLAN

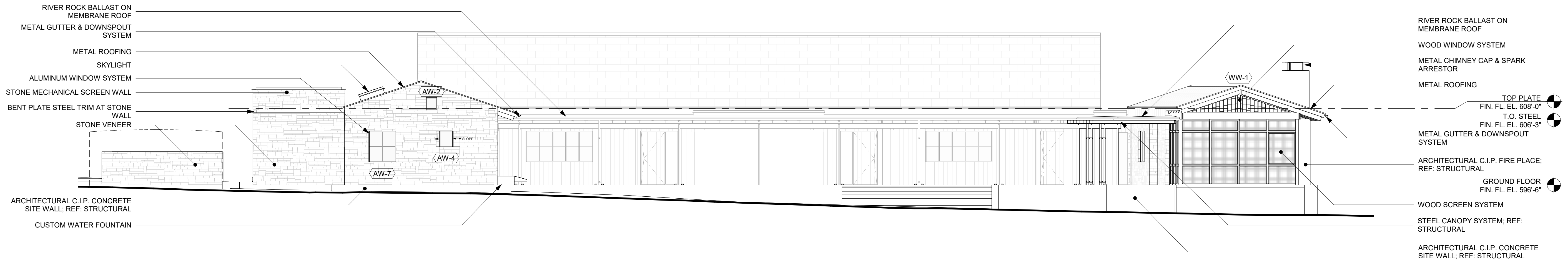
1 ROOF PLAN  
Scale: 1/8" = 1'-0"

# A1.02

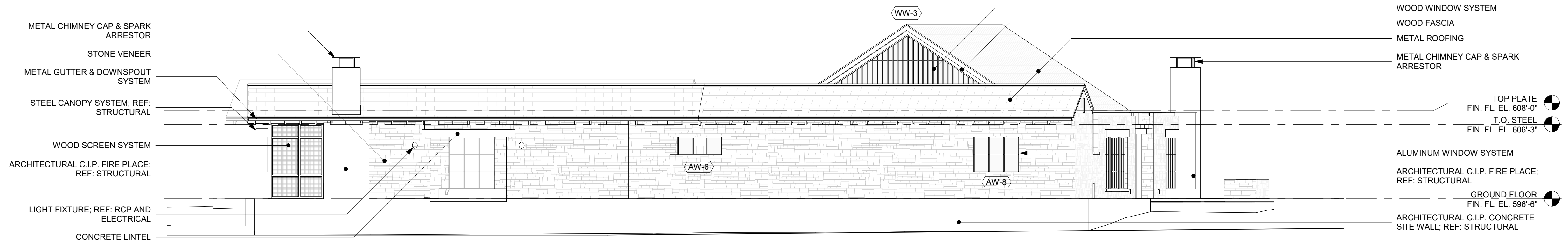




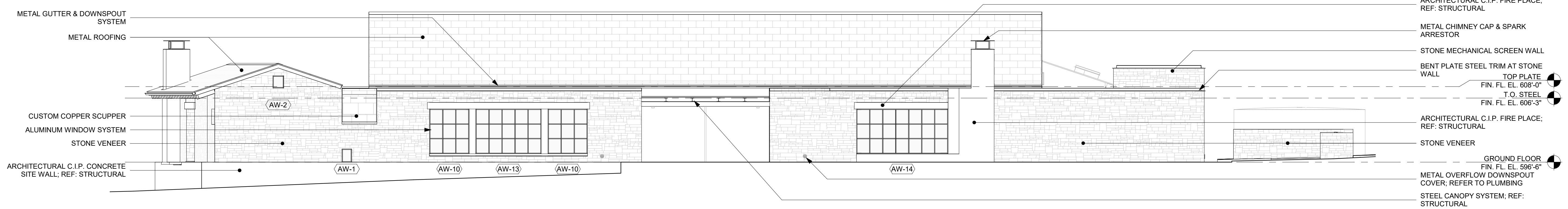
4 WEST ELEVATION  
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



2 EAST ELEVATION - ENTRANCE  
Scale: 1/8" = 1'-0"



1 NORTH ELEVATION  
Scale: 1/8" = 1'-0"

NOT FOR  
REGULATORY  
APPROVAL,  
PERMITTING OR  
CONSTRUCTION

©  
COPYRIGHT  
THESE DRAWINGS ARE PROPERTY OF THE  
ARCHITECT AND MAY NOT BE REPRODUCED  
WITHOUT THE PERMISSION OF A  
REPRESENTATIVE OF ANDERSSON WISE  
ARCHITECTS INC.

AW

ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

MCCOY'S  
RETREAT  
PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

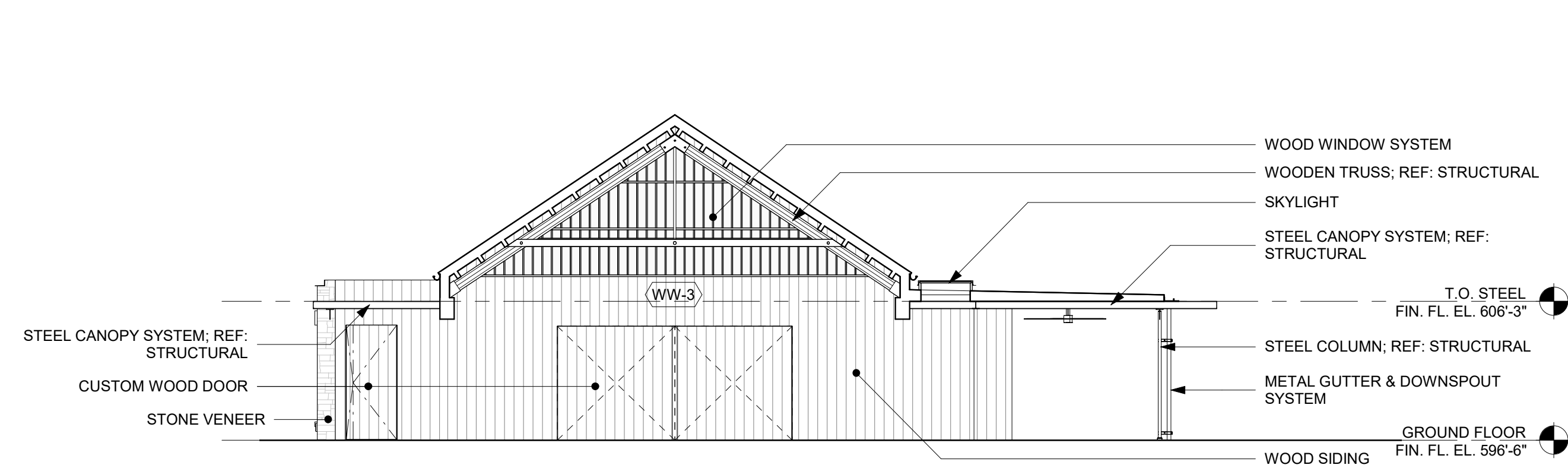
ISSUE DATE : 07/29/22  
Δ REVISIONS

DESIGN PHASE  
SUBMITTAL

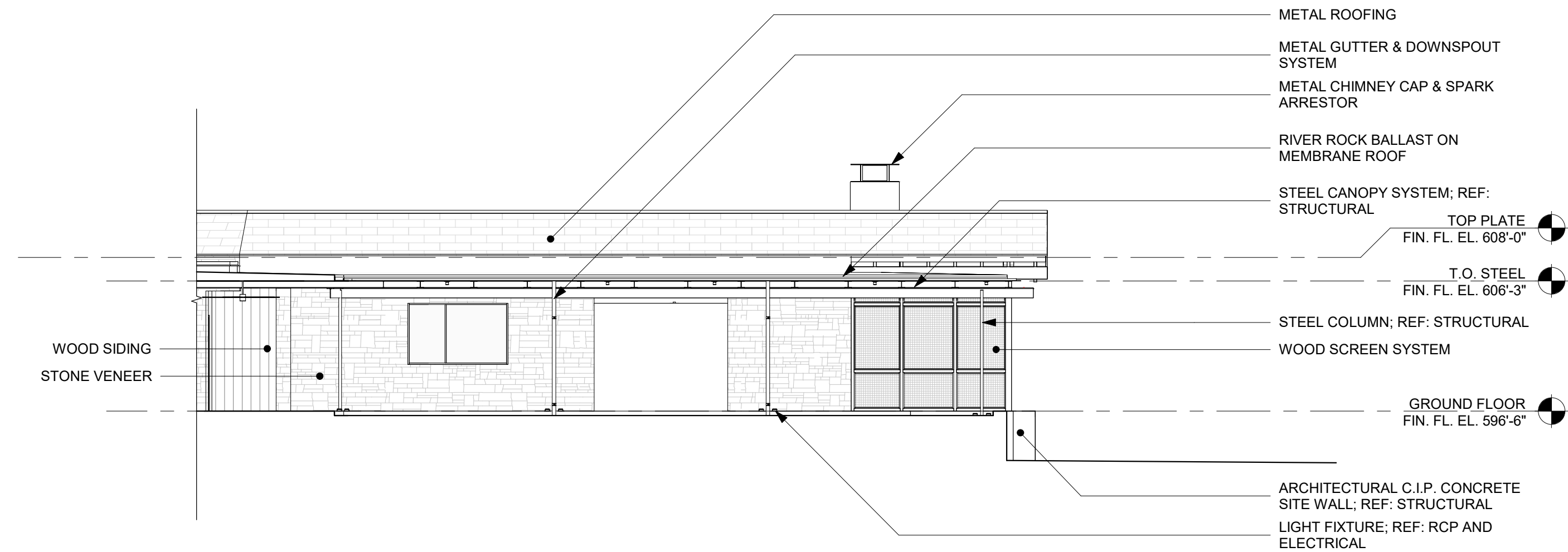
ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

EXTERIOR  
ELEVATIONS

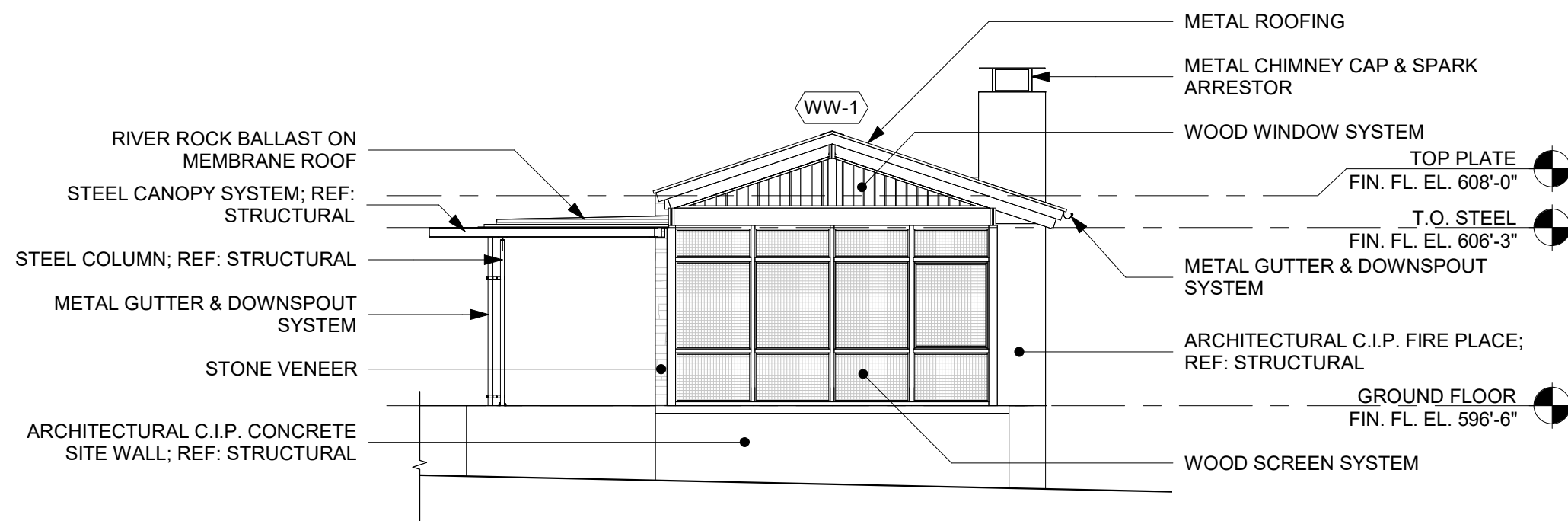
A2.01



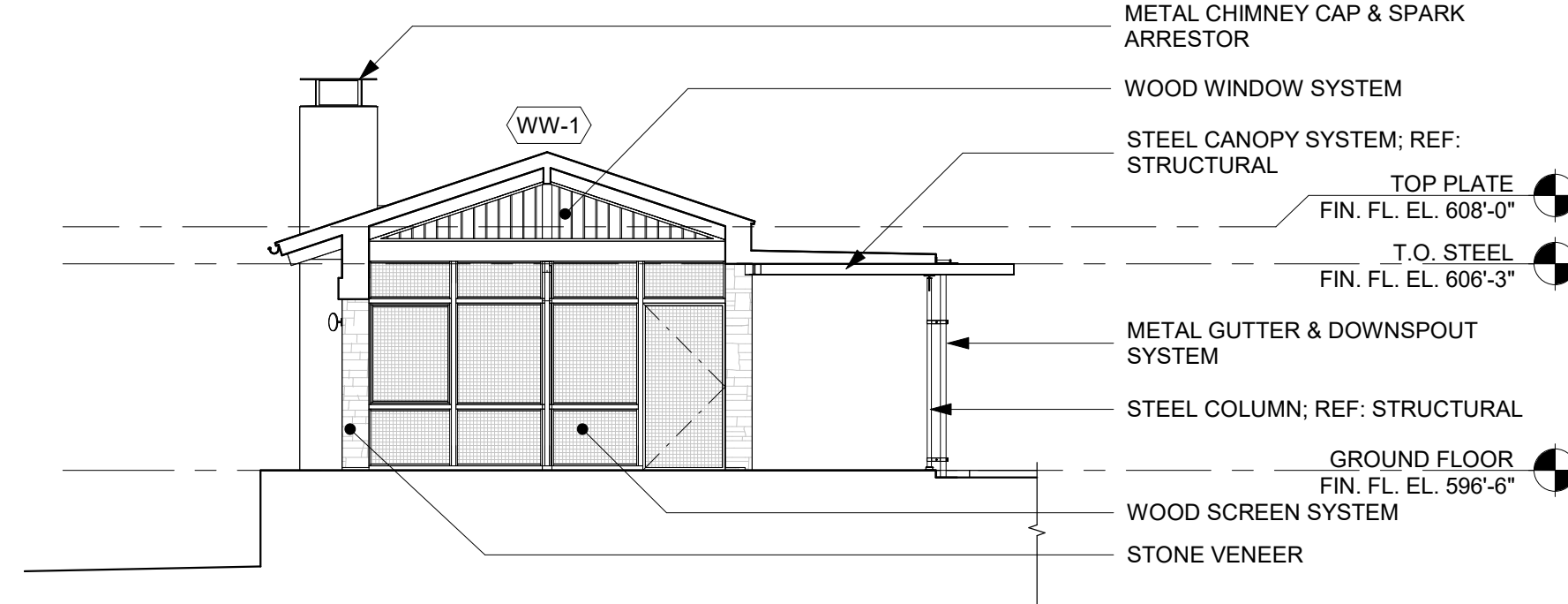
5 WEST ELEVATION - COMMUNITY PORCH  
Scale: 1/8" = 1'-0"



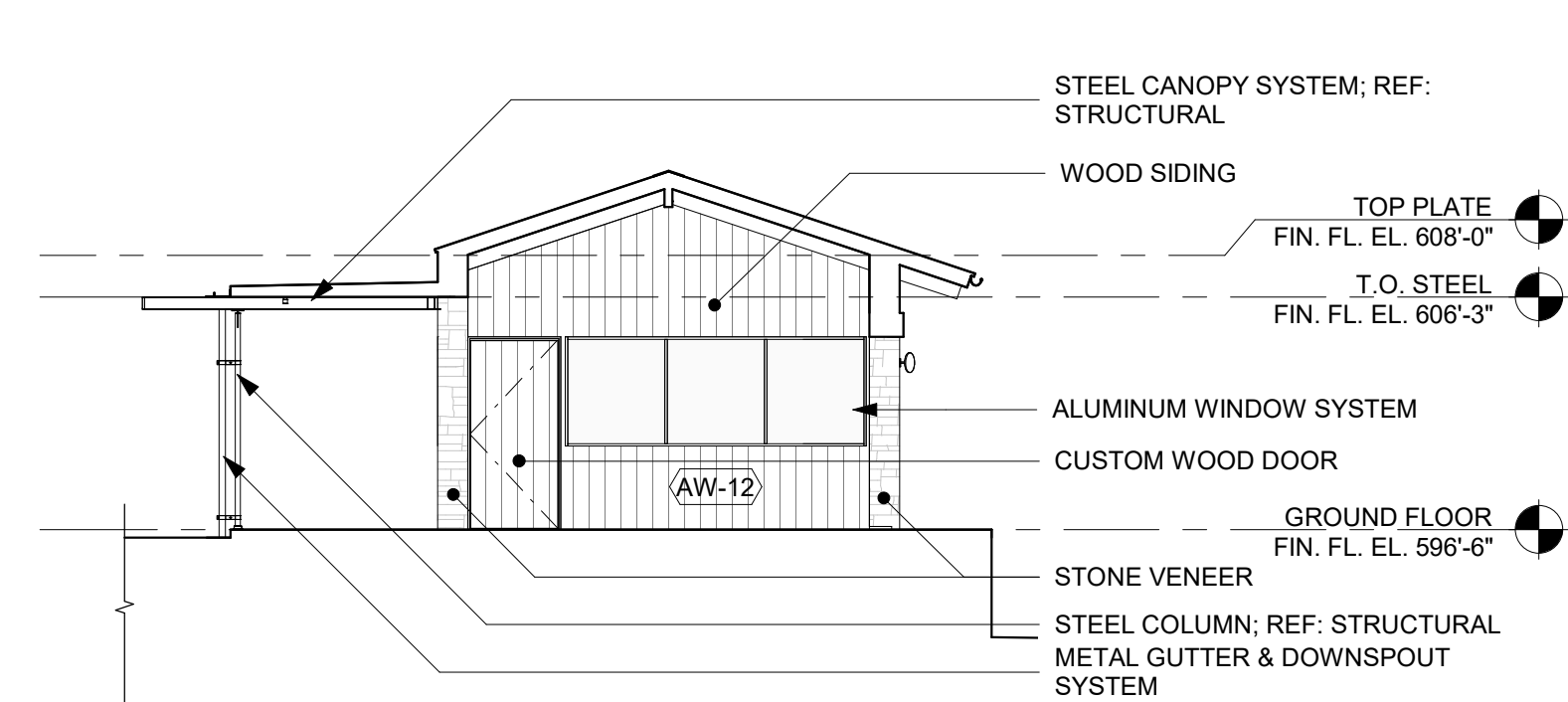
4 WEST ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION - SCREEN PORCH  
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION AT ENTRY  
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION AT ENTRY  
Scale: 1/8" = 1'-0"





ANDERSSON / WISE  
807 BRAZOS STREET, SUITE 800  
AUSTIN, TX 78701  
T 512.476.5780

## MCCOY'S RETREAT

PROJECT NO. 2106

1200 DAVIS LN.  
SAN MARCOS, TX 78666

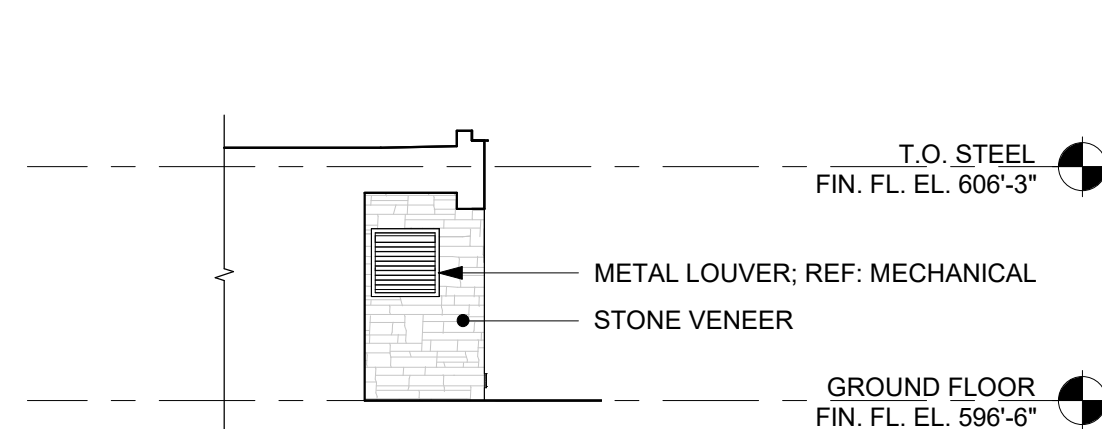
ISSUE DATE : 07/29/22  
Δ REVISIONS

## DESIGN PHASE SUBMITTAL

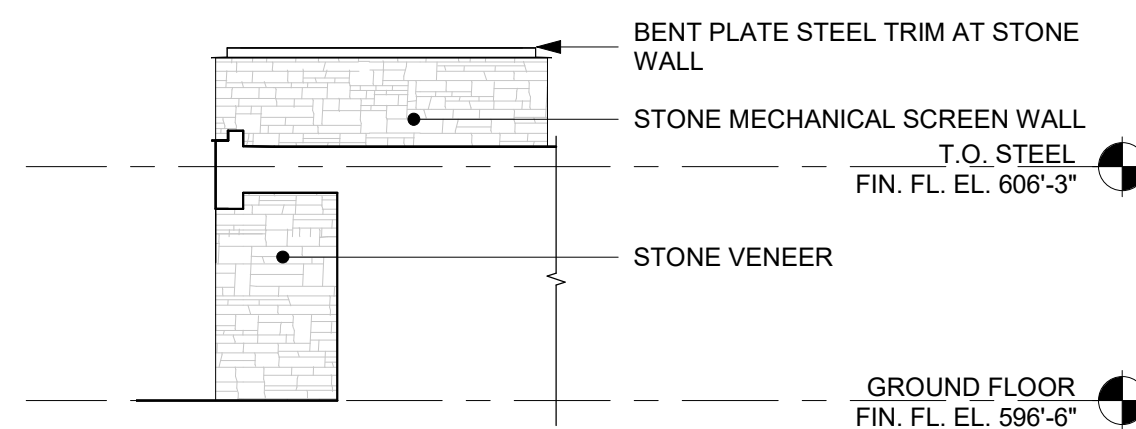
ARCHITECT:  
ARTHUR W. ANDERSSON TX REGISTRATION # 13257  
FREDERICK C. WISE TX REGISTRATION # 18699

## EXTERIOR ELEVATIONS

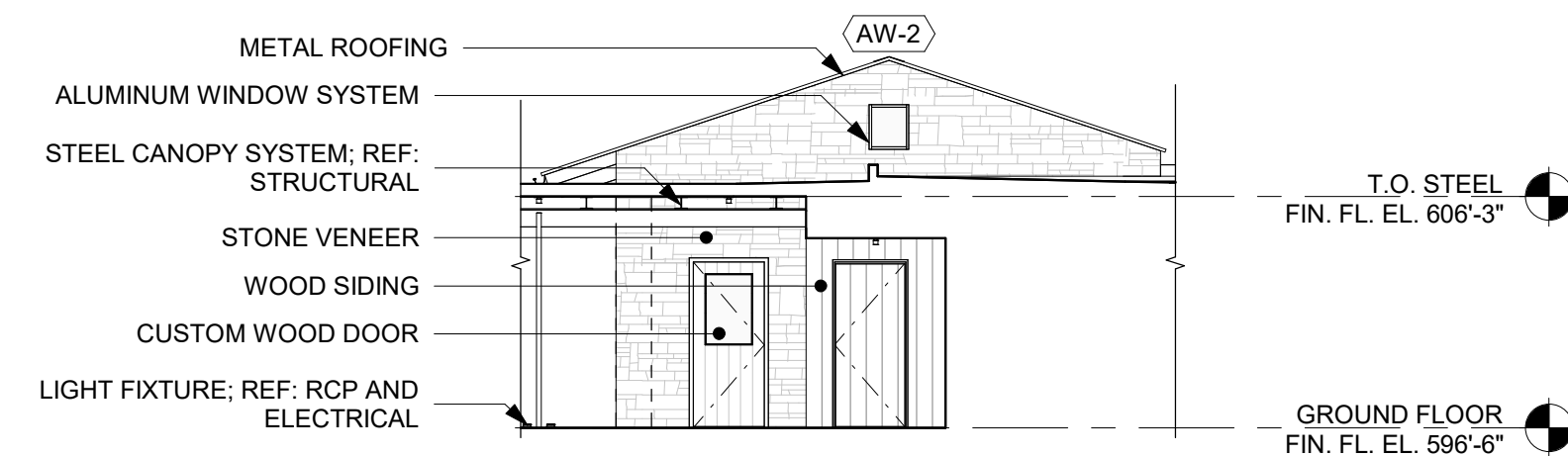
# A2.03



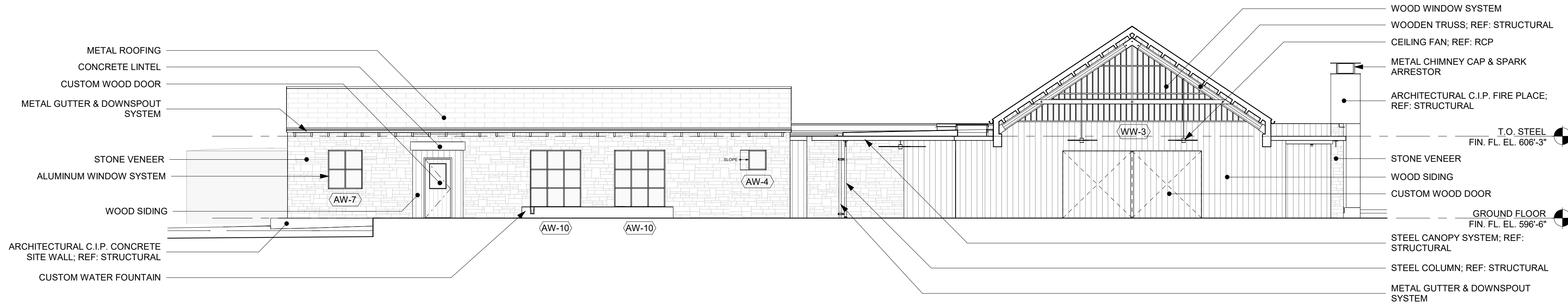
6 NORTH ELEVATION AT SERVICE ENTRY  
Scale: 1/8" = 1'-0"



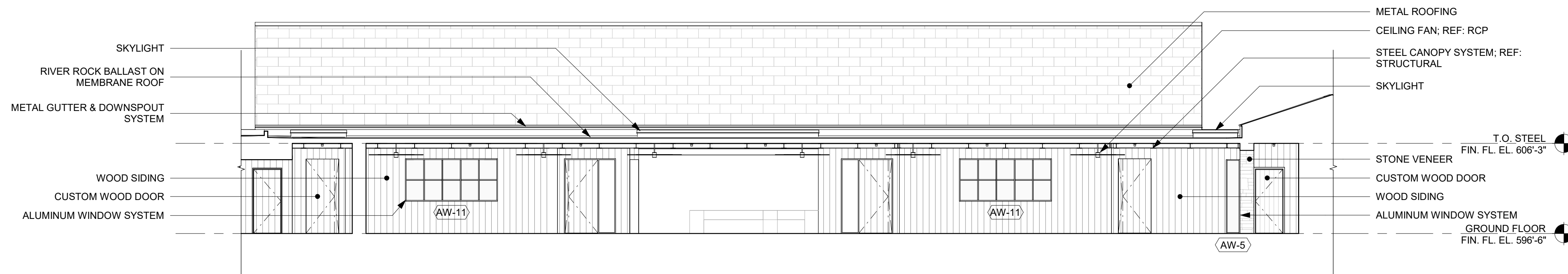
5 SOUTH ELEVATION AT SERVICE ENTRY  
Scale: 1/8" = 1'-0"



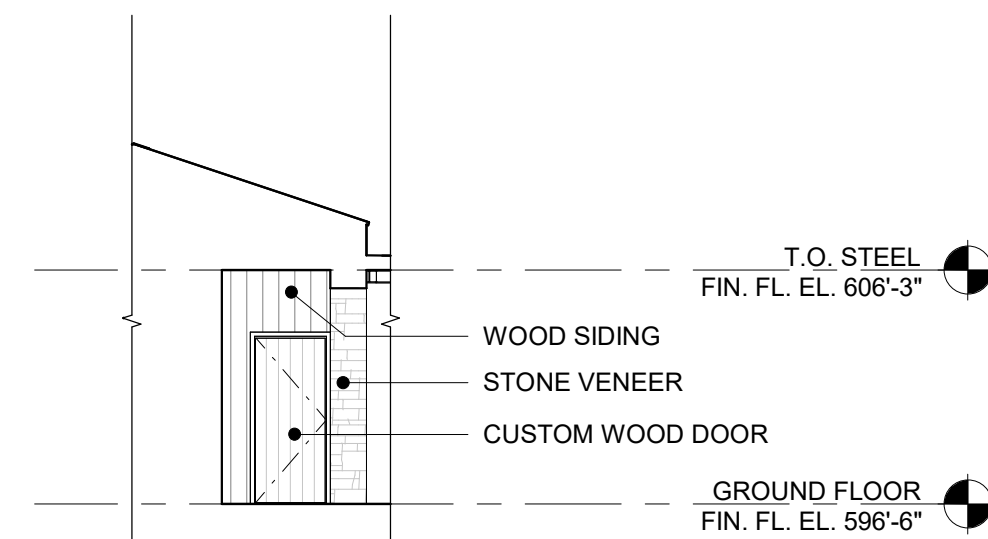
4 NORTH ELEVATION - WEST WING  
ENTRY  
Scale: 1/8" = 1'-0"



3 EAST ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION - COURTYARD  
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION AT UNISEX RR  
Scale: 1/8" = 1'-0"



## **Section 5.1.5.9 Special Event Facility**

- A. Defined.** A facility or hall available for special events with indoor and outdoor space that accomodates private functions such as weddings, quinceanera, and similar celebrations.
- B. Use Standards.** Where a special event facility is allowed as a conditional use, it may be permitted by the Planning and Zoning Commission subject to Section 2.8.3.1, and the standards below.
1. **Minimum parcel size.** No event center shall be located on a site of less than five acres.
  2. **Transitional Protective Yard.** A type D transitional protective yard as per Table 7.8 of the Development Code is required in all instances, along the entire perimeter of the property.
  3. The permit holder shall not be permitted to hold a TABC license.
  4. A site plan illustrating, where appropriate: location, square footage and height of existing and proposed structures, landscaping or fencing, setbacks, parking, ingress & egress, signs, etc., shall be required and approved at the time of the Conditional Use Permit.
  5. A floor plan(s) illustrating fire exits, doors, rooms, indoor & outdoor seating, kitchen, bar, restroom, etc., shall be required and approved at the time of Conditional Use Permit.
  6. All uses of property shall comply with Section 7.4.2.1 of this Development Code.
  7. A parking buffer in accordance with Section 7.1.4.4 shall be required in all instances.



## LEGEND

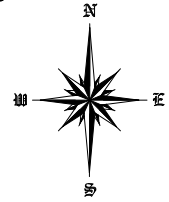
- 1/2" IRON PIN FOUND (UNLESS NOTED)
- ⊙ 3/4" IRON PIPE FOUND
- SET 1/2" IRON PIN WITH CUPLIN PROPERTY CAP
- △ CALC POINT
- .../... VOLUME/PAGE
- P.R.H.C. PLAT RECORDS HAYS CO.
- O.P.R.H.C. OFFICIAL PUBLIC RECORDS OF HAYS COUNTY

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S79°09'44"W	296.04'
L2	N03°08'59"E	46.04'
L3	N24°19'29"E	61.18'
L4	N37°09'32"E	59.85'
L5	N62°03'00"E	52.41'
L6	N68°06'57"E	121.11'
L7	S89°48'48"E	93.85'
L8	N85°56'43"E	17.52'
L9	N03°58'04"W	161.81'
L10	N71°38'53"W	13.94'
L11	N42°35'59"E	230.36'
L12	S77°40'53"E	86.25'

CURVE TABLE			
CURVE	RADIUS	ARC LEN	CHD LEN
C1	2805.27'	674.78'	673.15'
C2	50.00'	145.67'	99.35'
C3	13.00'	8.01'	7.88'
C4	1467.39'	165.54'	165.45'

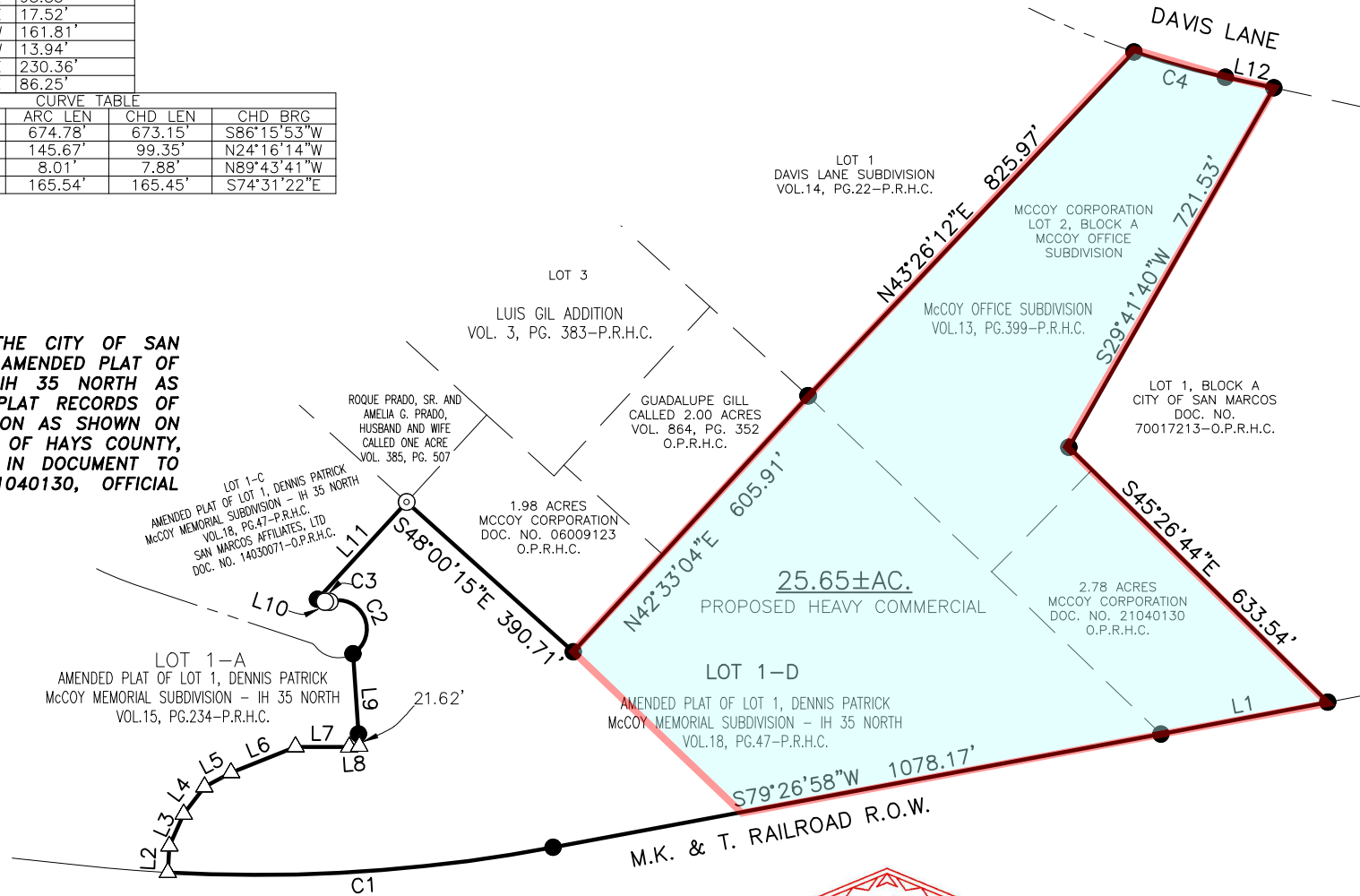
### NOTES:

- 1) BASIS OF BEARINGS ARE TO THE NORTH AMERICAN DATUM OF 1983, TEXAS COORDINATE SYSTEM, CENTRAL ZONE.
- 2) THIS EXHIBIT IS NOT VALID TO CONVEY REAL PROPERTY - IT IS ONLY AN EXHIBIT FOR ZONING CHANGES AND IS NOT A BOUNDARY SURVEY.



## ZONING EXHIBIT

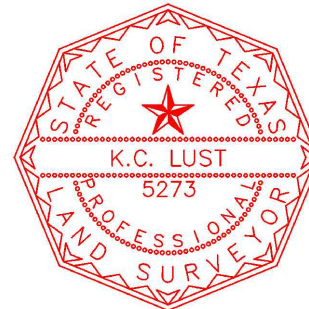
LEGAL DESCRIPTION: BEING 25.65 ACRES OF LAND IN THE CITY OF SAN MARCOS, HAYS COUNTY, TEXAS, COMPRISING OF LOT 1-D, AMENDED PLAT OF LOT 1, DENNIS PATRICK McCOY MEMORIAL SUBDIVISION-IH 35 NORTH AS SHOWN ON PLAT RECORDED IN VOLUME 18, PAGE 47, PLAT RECORDS OF HAYS COUNTY, TEXAS, LOT 2 OF McCOY OFFICE SUBDIVISION AS SHOWN ON PLAT RECORDED IN VOLUME 13, PAGE 399, PLAT RECORDS OF HAYS COUNTY, TEXAS, TOGETHER WITH A 2.78 ACRE TRACT DESCRIBED IN DOCUMENT TO McCOY CORPORATION, RECORDED IN DOCUMENT NO. 21040130, OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS.



I HEREBY CERTIFY THAT THIS EXHIBIT WAS PERFORMED ON THE GROUND AND WAS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION. CUPLIN & ASSOCIATES, INC. ACCEPTS NO RESPONSIBILITY FOR THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE ABOVE REFERENCED PARTIES HEREBY CERTIFIED TO FOR THIS SPECIFIC TRANSACTION ONLY. COPYRIGHT 2022, CUPLIN & ASSOCIATES, INC. ©.

K.C. LUST, R.P.L.S. NO. 5273

DATED 08/30/2022



REVISIONS		DESCRIPTION	
2	1	DATE	NO.
SCALE 1" = 300'		150 300 0	
1500 OLLIE LANE MARBLE FALLS, TX 78654 PH 325-388-3300/830-693-8815 WWW.CUPLINASSOCIATES.COM		PROJ NO. 22602 PREPARED FOR: ECKERMAN ENGINEERING TECH: KCL APPROVED: K.C. LUST COPYRIGHT: 2022 PROFESSIONAL FIRM NO: 10126900	
SHEET		1 OF 1	

# CONDITIONAL USE PERMIT / ALTERNATIVE COMPLIANCE (GENERAL) APPLICATION

Updated: September, 2020



## CONTACT INFORMATION

<b>Applicant's Name</b>	Sam Walker, P.E.	<b>Property Owner</b>	McCoy Corporation
<b>Company</b>	Eckermann Engineering, Inc.	<b>Company</b>	McCoy Corporation
<b>Applicant's Mailing Address</b>	P.O. Box 388 Lampasas, TX 76550	<b>Owner's Mailing Address</b>	1350 IH-35 North San Marcos, TX 78666
<b>Applicant's Phone #</b>	512-556-8160	<b>Owner's Phone #</b>	512-395-6644
<b>Applicant's Email</b>	sam@eckermannengineering.com	<b>Owner's Email</b>	chet.lange@mccoys.com

## PROPERTY INFORMATION

**Subject Property Address:** 1200 Davis Lane, San Marcos TX 78666

**Zoning District:** Future Development **Tax ID #: R** 126548, R143267, & R12019

**Legal Description:** Lot 2 Block A **Subdivision** McCoy Office Subdivision

## DESCRIPTION OF REQUEST

Please use this space to describe the proposal. Attach additional pages as needed.

See attached Summary Letter.

## AUTHORIZATION

*I certify that the information on this application is complete and accurate. I understand the fees and the process for this application. I understand my responsibility, as the applicant, to be present at meetings regarding this request.*

**Initial Filing Fee \$793\*** **Technology Fee \$13** **TOTAL COST \$806**

**Renewal/Amendment Filing Fee \$423\*** **Technology Fee \$13** **TOTAL COST \$436**

*\*Nonprofit Organization fees are 50% of the adopted fee listed for Conditional Use Permits*

**Submittal of this digital Application shall constitute as acknowledgement and authorization to process this request.**



PROPERTY OWNER AUTHORIZATION

I, Chet Lange (owner name) on behalf of  
McCoy Corporation (company, if applicable) acknowledge that I/we  
am/are the rightful owner of the property located at  
1200 Davis Lane (address).

I hereby authorize Sam Walker, P.E. (agent name) on behalf of  
Eckermann Engineering, Inc. (agent company) to file this application for  
Conditional Use Permit (General) (application type), and, if necessary, to work with  
the Responsible Official / Department on my behalf throughout the process.

Signature of Owner:  Date: 12/15/2022  
Printed Name, Title: Chet Lange, Director of Development

Signature of Agent: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name, Title: Sam Walker, P.E., Vice President

Form Updated October, 2019

## AGREEMENT TO THE PLACEMENT OF NOTIFICATION SIGNS AND ACKNOWLEDGEMENT OF NOTIFICATION REQUIREMENTS

The City of San Marcos Development Code requires public notification in the form of notification signs on the subject property, published notice, and / or personal notice based on the type of application presented to the Planning Commission and / or City Council.

- Notification Signs: if required by code, staff shall place notification signs on each street adjacent to the subject property and must be placed in a visible, unobstructed location near the property line. It is unlawful for a person to alter any notification sign, or to remove it while the request is pending. However, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements. ***It shall be the responsibility of the applicant to periodically check sign locations to verify that the signs remain in place had have not been vandalized or removed. The applicant shall immediately notify the responsible official of any missing or defective signs. It is unlawful for a person to alter any notification sign, or to remove it while the case is pending; however, any removal or alteration that is beyond the control of the applicant shall not constitute a failure to meet notification requirements.***
- Published Notice: if required by code, staff shall publish a notice in a newspaper of general circulation in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be published it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***
- Personal Notice: if required by code, staff shall mail personal notice in accordance with City Codes and the Texas Local Government Code. ***If, for any reason, more than one notice is required to be mailed it may be at the expense of the applicant. The renotification fee shall be \$91 plus a \$13 technology fee.***

*I have read the above statements and agree to the required public notification, as required, based on the attached application. The City's Planning and Development Services Department staff has my permission to place signs, as required, on the property and I will notify City staff if the sign(s) is/are damaged, moved or removed. I understand the process of notification and public hearing and hereby submit the attached application for review by the City.*

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

**Chet Lange**

Form Updated October, 2019



# **Public Hearing**

## **CUP-23-04**

### **McCoy Event Center**

CUP-23-04 (McCoy Special Event Center) Hold a public hearing and consider a request by Eckermann Engineering, on behalf of McCoy Corporation, for a Conditional Use Permit to allow a Special Event Facility, located near 1200 Davis Lane, and also described as an approximate 18.6-acre tract of land made up of Lot 2, Block A of the McCoy Office Subdivision, an unplatted 2.81-acre lot described in document to McCoy Corporation, recorded in document No. 21040130, and a portion of Lot 1-D of the Amended Plat of Lot 1 Dennis Patrick McCoy Memorial Subdivision - IH 35 North (C. Garrison)





# Property Information

- Approximately 18.6 acres
- Located on the south side of Davis Lane, approximately 950 feet east of IH35

CUP-23-04

1200 Davis Ln - McCoys Event Center

400ft Buffer Map



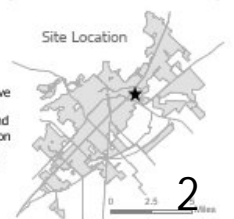
- Subject Property
- 400ft Buffer
- Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

Date: 2/9/2023

**SAN MARCOS** Planning and Development Services



2



# Context & History

- Currently Vacant
- Surrounding Uses
  - Vacant Land
  - Offices

CUP-23-04

1200 Davis Ln - McCoys Event Center

Zoning Map

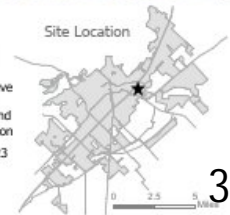


Subject Property  
Parcel

0 325 650 1,300 Feet

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.  
Date: 2/14/2023

SAN MARCOS Planning and Development Services

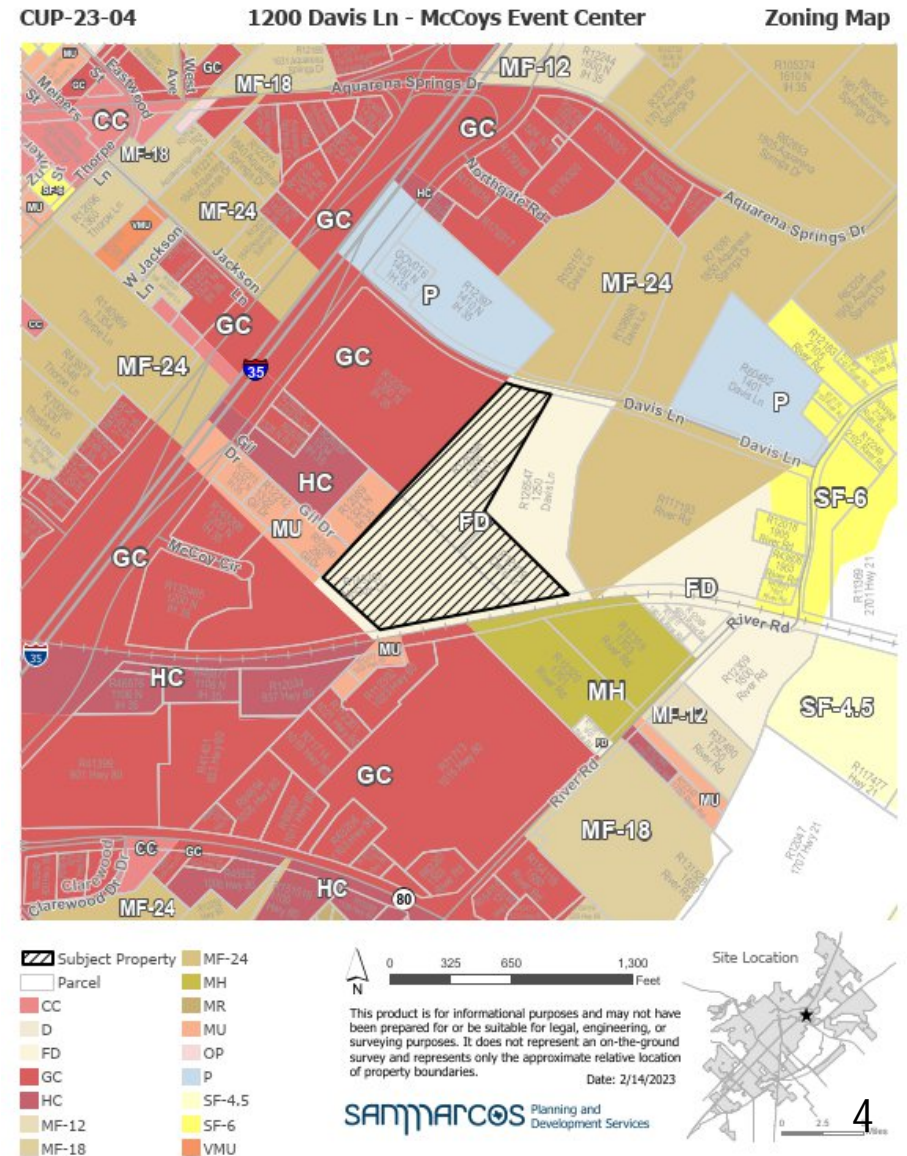






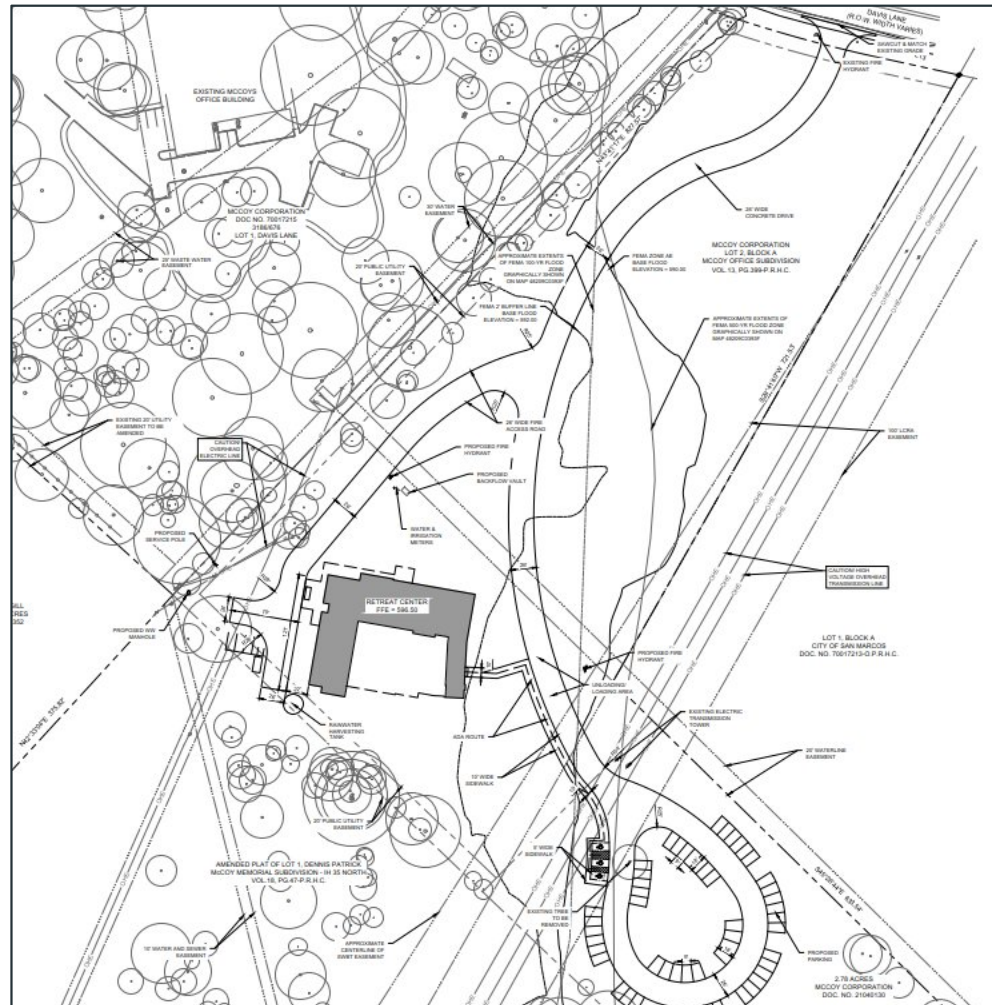
## Context & History

- Existing Zoning:  
Future Development (FD)
- Proposed Use:  
Special Event Facility
  - Retreat Center used for corporate trainings, etc. for the McCoy Corporation
- Subject to Section 5.1.5.9 which regulates:
  - Lot Size, Buffers / Screening
  - Noise
  - Applicant may not hold a separate TABC license





# Site Plan









# Recommendation

- Staff recommends(ed) **approval** of CUP-23-04 with the following conditions:
  1. The Permit shall not expire; and
  2. The development is subject to all applicable codes and ordinances.





## Legislation Text

---

**File #:** ID#23-160, **Version:** 1

---

**AGENDA CAPTION:**

Hold a public hearing and consider a recommendation on the "San Marcos Downtown Area Plan".

**Meeting date:** February 28, 2023

**Department:** Planning and Development Services Department

**Amount & Source of Funding**

**Funds Required:** n/a

**Account Number:** n/a

**Funds Available:** n/a

**Account Name:** n/a

**Fiscal Note:**

**Prior Council Action:** City Council provided direction create a Downtown Area Plan in 2020 as part of Comprehensive Plan effort and the Downtown Plan kicked off in May of 2022. Council received an informational presentation on the Plan at their August 2, 2022 and February 7, 2023 meetings.

**City Council Strategic Initiative:**

Downtown Vitality

**Comprehensive Plan Element (s):**

- ☒ Economic Development - Choose an item.
- ☒ Environment & Resource Protection - Choose an item.
- ☒ Land Use - Choose an item.
- ☒ Neighborhoods & Housing - Choose an item.
- ☒ Parks, Public Spaces & Facilities - Choose an item.
- ☒ Transportation - Choose an item.
- ☒ Core Services
- ☐ Not Applicable

**Master Plan:**

Vision San Marcos - A River Runs Through Us

### **Background Information:**

As part of the Vision SMTX Comprehensive Plan, the City Council directed staff to create a Downtown Area Plan to take a closer look at the future of downtown. San Marcos' existing Downtown Master Plan, adopted in 2008, is nearing 15 years old. The Downtown Area Plan kicked off in May of 2022. 7 Key concepts and recommendations are included in the Plan:

- Historic and Cultural Character
- Multimodal Connectivity and Parking
- Public Spaces and Amenities
- Priority Streetscape Enhancements
- Downtown Housing Options
- Fostering Small Businesses
- Building Form and Infill Development

The Downtown Area Plan reflects the needs and desires of a diverse range of stakeholders and perspectives and several opportunities for input were provided. This included three open houses, an online survey, a series of Downtown Stakeholder Committee meetings, Comprehensive Plan Downtown Oversight Committee Meetings, pop-up intercept events, 1-on-1 conversations, and presentations to organizations and commissions. Through the work of the Downtown Area Plan, the San Marcos community envisions downtown as the cultural and economic heart of San Marcos where all community members are welcomed to gather, live, work, and enjoy the charm, walkability, and vibrancy of downtown.

Comments were collected on the Public Review Draft during the month of January and have been incorporated into the Final Draft of the Plan being considered by the Commission.

- The Final Draft Downtown Area Plan can be downloaded at the following link:  
<[https://www.visionsmtx.com/wp-content/uploads/2023/02/DowntownPlan\\_FinalDraft\\_2.16.23\\_.pdf](https://www.visionsmtx.com/wp-content/uploads/2023/02/DowntownPlan_FinalDraft_2.16.23_.pdf)>
- A paper copy of the Plan can be requested by emailing [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov)  
<<mailto:planninginfo@sanmarcostx.gov>>

### **Council Committee, Board/Commission Action:**

The Commission received an informational presentation on the Downtown Area Plan at their February 14,



2023 meeting.

**Alternatives:**

n/a

**Recommendation:**

Staff recommends **approval** of the Downtown Area Plan as presented.



## **San Marcos Downtown Area Plan**

Hold a public hearing and consider a recommendation on the “San Marcos Downtown Area Plan”.





# Comprehensive Plan Rewrite: Downtown Area Plan

Planning & Zoning Commission Public Hearing  
February 28, 2023



In association with: TJKM TRANSPORTATION CONSULTANTS | ECONOMIC & PLANNING SYSTEMS

The City of San Marcos | Comprehensive Plan Rewrite 2

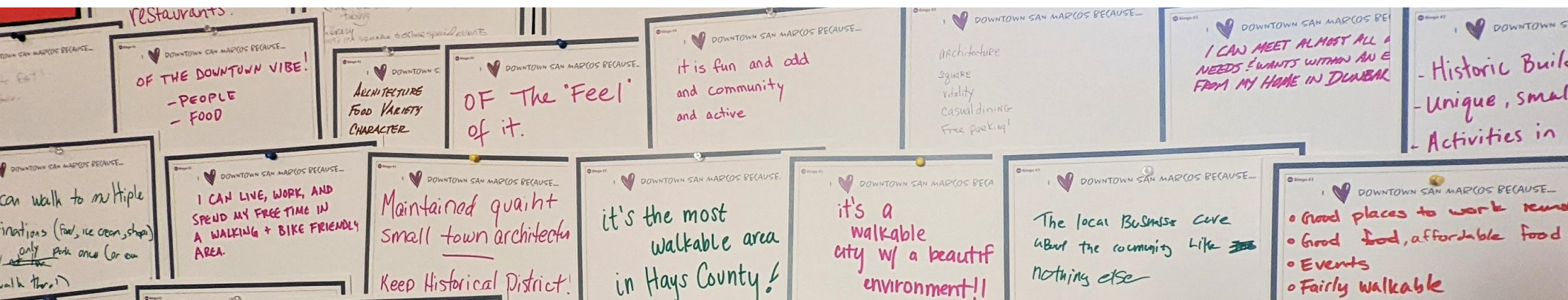


# Role of the Downtown Area Plan

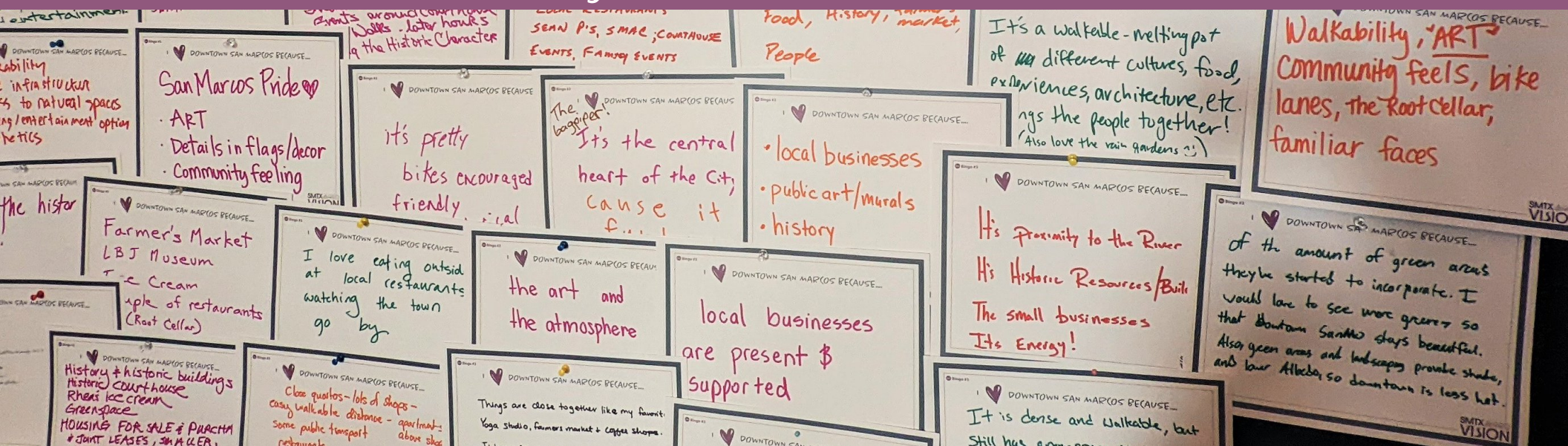
- Targeted effort within **Comprehensive Plan** Update for this unique part of San Marcos
- Updates the **2008 Downtown Master Plan**
- Help **guide development** and **infrastructure investments** Downtown for the next 20 years
- To identify Downtown **assets** and **character** that should be preserved or enhanced as the plan is implemented





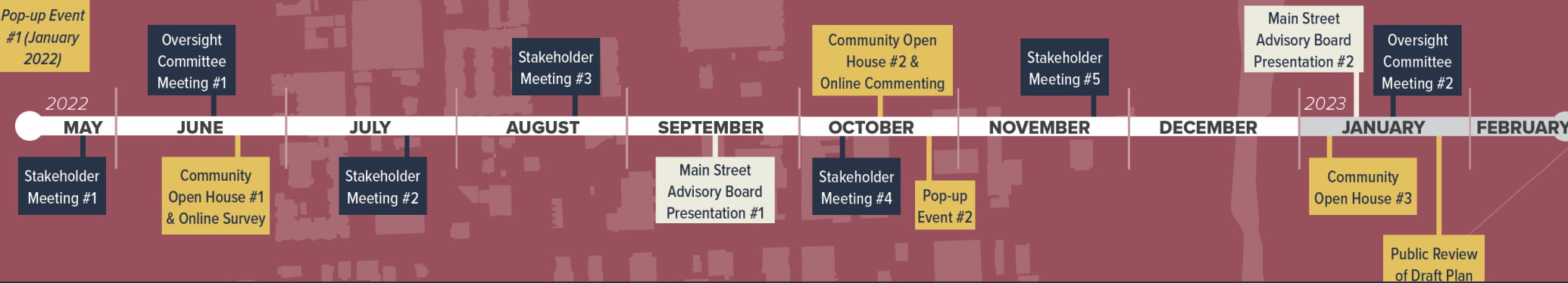


## What do you love about downtown?



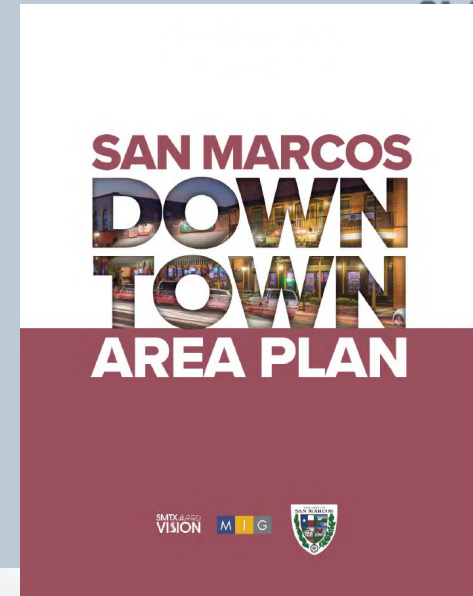


# ENGAGEMENT TIMELINE



# Public Review Draft – January

- Open House, Farmers Market, online commenting, steering & stakeholder committee input
- Comments/Changes include:
  - Typographical changes
  - Refinement or clarification of language
  - A few additional overarching recommendations based on input
  - Positive feedback on sections that most interested participants







## Downtown Area Plan

# Vision and Goals



In association with: TJKM TRANSPORTATION CONSULTANTS | ECONOMIC & PLANNING SYSTEMS

The City of San Marcos | Downtown Area Plan





# Goals



Elevate equity in the Downtown experience through accessibility, affordability, and cultural programming.



Educate about, reflect on, and celebrate history while adapting to new needs and planning ahead for growth and change over time.



Strengthen Downtown's unique identity through an atmosphere of eclectic arts, small business, diverse cuisines, recreational opportunities, Historic architecture, and lively events in a riverfront, hill country community.



Better connect Downtown both physically and programmatically to Texas State University, the San Marcos River, and other surrounding neighborhoods.



# Goals



**Attract people of all walks of life including families, aging adults, young professionals, visitors, students, faculty, and staff with a greater diversity of shops, restaurants, housing, and employment options.**



**Provide an inclusive, welcoming, safe heart of the community for people of all ages, incomes, abilities, religious beliefs, and cultures.**



**Promote a vibrant and thriving Downtown through local business support, fostering entrepreneurship, mixed-use development, and a variety of housing options.**



**Increase sustainability and resiliency by prioritizing multimodal transportation, supporting green infrastructure and buildings, and providing community programs and amenities.**







## Downtown Area Plan

# Key Concepts Addressed in Plan



In association with: TJKM TRANSPORTATION CONSULTANTS | ECONOMIC & PLANNING SYSTEMS

The City of San Marcos | Downtown Area Plan

# 7 Key Topics



Multimodal  
Connectivity and  
Parking



Historic &  
Cultural  
Character



Public Spaces  
& Amenities



Priority  
Streetscape  
Enhancement



Fostering  
Small  
Businesses



Downtown  
Housing Options



Building Form  
and Infill  
Development

Built on Downtown San Marcos' opportunities to create recommendations and priorities for our future



# Downtown Housing Options

- Community amenities & transportation improvements
- Removing development barriers to provide housing options
- Promote and support housing affordability
- Promote and support home ownership
- Making downtown a place to live for everyone



# Building Form & Infill Development

- Conceptual Infill Development (Housing, Open Marketplace & Food Hall, Mixed-Use)
- Potential Hotel
- CM Allen Parkway District
- Vacant storefront/building activation
- Ground floor design & inviting buildings





# Multimodal Connectivity & Parking

- Improved & expanded transit stops
- Support for the on-street paid parking program implementation plan & parking benefit district
- Complete Multi-Modal Networks
- Green Alleys & Mid-block connections



# Priority Streetscape Improvements

- Streetscapes for pedestrians and businesses
- Downtown Gateways
- Intersection Improvements
- Flexible/Festival Street
- Shared Streets
- Shared use paths for all ages and needs





# Public Space & Amenities

- Sustainable public spaces - permeable pavements & rain gardens
- Expanding the tree canopy
- Existing public space improvements with the amenities the community desires
- Connecting the riverfront parks
- Potential new parks & plazas



# Small Business Support

- Business Variety Strategies
- Incubator Spaces
- Incentives for rehabilitation of vacant spaces
- Entrepreneur Support and Diversity Strategies
- Business retention programs
- Supporting new housing options, events, & tourism





# History, Art, & Culture

- Creating History and Art Walks
- Enhanced Web Presence and Digital Map
- Create Cultural Trust & Cultural District
- Strengthening partnerships with Texas State Staff & Students
- Activating Downtown using all mediums





## Downtown Area Plan

# Implementation



In association with: TJKM TRANSPORTATION CONSULTANTS | ECONOMIC & PLANNING SYSTEMS

The City of San Marcos | Downtown Area Plan



# Implementation

- **Overarching Recommendations**
- **Key Topic Recommendations**
  - Community priority
  - Difficulty of implementation
  - Catalytic impact
  - Public cost
  - Timeframe to completion
  - Potential leaders
  - Short term action items
  - Driver

## Fostering Small Business

### **BUSINESS VARIETY STRATEGIES**

**Community Priority:** High

**Difficulty of Implementation:** High

**Catalytic Impact:** High

**Public Cost:** \$\$ (\$50,000- \$250,000)

**Timeframe to Completion:** Medium (2-5 years)

**Downtown Geography:** Throughout

**Potential Leaders/Partners:** Private developer, private business owner, CoSM Economic Development, Downtown Association, GSMP, Main Street Program

**Short Term Action Items:** Pursue strategies listed in “Diversify the retail business mix” within Downtown Plan. Implementation is not fully publicly-driven. Private sector will ultimately drive new businesses.

**Driver:** City of San Marcos (program creation)

# Following Adoption

- Update the Development Code
- Update the Transportation Master Plan
- Incorporate the Downtown Plan into the Capital Improvement Plan project selection process
- Evaluate projects, plans, and policies for short-term implementation
- Create Implementation Tracking Worksheet

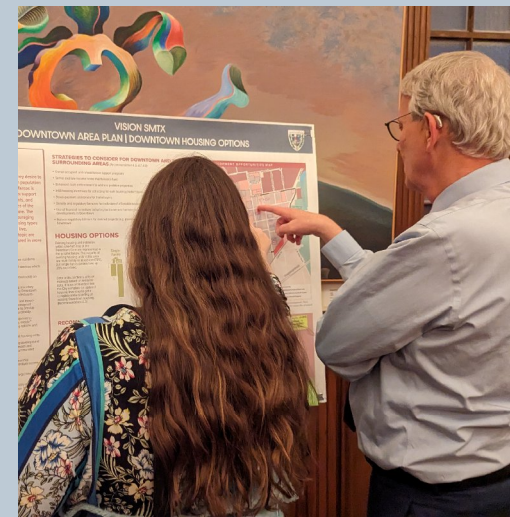




# What are you most excited about with the Downtown Area Plan?



- Historic preservation. Fostering and supporting small, locally owned, business.
- The historic cultural walk is such a cool community connector. Local businesses incubator spaces and shared leases are super important!
- Raised intersections - need to show that pedestrians have priority, traffic calming especially on larger roads like Hopkins
- Convert/allow housing to be built where parking lots are currently to make DT more walkable
- I love the owners of don's Japanese kitchen and walk from alchemy records. Those relationships are why I'm staying in San Marcos.



# The Adoption Schedule



## Past Adoption Proceedings:

- City Council Info Meeting & Neighborhood Presentation: February 7
- Planning & Zoning Info Meeting: February 14
- Neighborhood Commission Info Meeting: February 15

## • Upcoming Adoption Proceedings:

- Planning & Zoning Public Hearing: February 28 (today)
- City Council Public Hearing & Consideration: March 21







## Staff Recommendation

Staff recommends **approval** of the Downtown Area Plan as presented.

# SAN MARCOS

## DOWNTOWN AREA PLAN

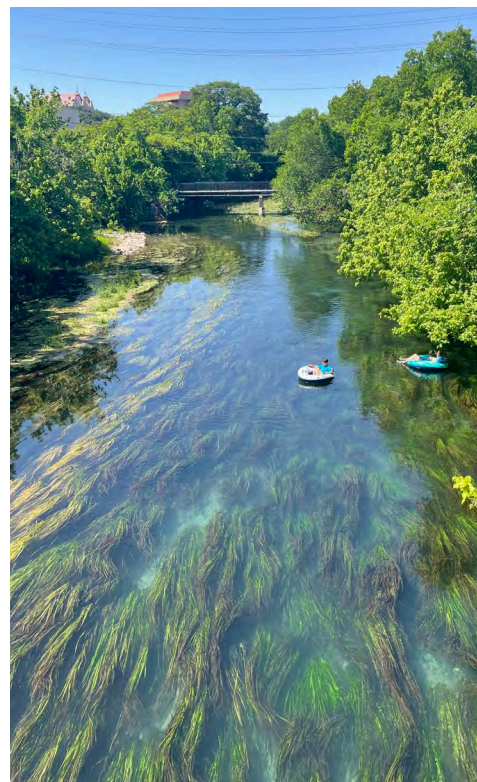
## WELCOME DOWNTOWN(ER)S!

Downtown San Marcos provides a memorable, unique experience through its community, history, and vibrancy. As the heart of the City, Downtown serves many different users and needs including residents, employees, business owners, students, and visitors. Created based on about a year of analysis and engagement, the Downtown Area Plan seeks to strengthen Downtown for decades to come by identifying improvements, investments, and opportunities that can be pursued through public and private investment to ensure Downtown best serves all people in the San Marcos community and has a vibrant and resilient future.

### What's in the Plan?

The Downtown Area Plan has five chapters including:

- **Chapter 1: Introduction** - Provides highlights from the Existing Conditions Assessment covering topics like development history, demographics, land use, zoning, mobility infrastructure, natural resources and more.
- **Chapter 2: Engagement Overview** - Includes a summary of community and stakeholder engagement conducted throughout the Downtown Area Plan process.
- **Chapter 3: Downtown Vision** - Reflects a community-driven vision statement, plan goals, and Downtown opportunities organized by topic.
- **Chapter 4: Recommendations** - Provides overarching and specific recommendations for improvements and investments by topic to enhance Downtown for all over the next several years.
- **Chapter 5: Implementation** - The “how-to” guide containing action items and coordination considerations for implementing recommendations outlined within the plan.





# VISION AND GOALS

Through stakeholder and community engagement early in the Downtown Area Plan process, the following vision and goals were established for the effort.



*San Marcos' vibrant Downtown is the cultural and economic heart of the city where all community members are welcomed to gather, have fun, live, work, and enjoy the small-town charm in a safe, inclusive, and walkable environment. A beautiful intersection between past, present and future, Downtown San Marcos is ever-evolving, celebrates diversity, values history, supports local business, leads in sustainability, and provides a sense of connectedness to other neighborhoods, the San Marcos River, Texas State University, and beyond.*



Attract people of all walks of life including families, aging adults, young professionals, visitors, students, faculty, and staff with a greater diversity of shops, restaurants, housing, and employment options.



Provide an inclusive, welcoming, safe heart of the community for people of all ages, incomes, abilities, religious beliefs, and cultures.



Promote a vibrant and thriving Downtown through local business support, fostering entrepreneurship, mixed-use development, and a variety of housing options.



Increase sustainability and resiliency by prioritizing multimodal transportation, supporting green infrastructure and buildings, and providing community programs and amenities.



Elevate equity in the Downtown experience through accessibility, affordability, and cultural programming.



Educate about, reflect on, and celebrate history while adapting to new needs and planning ahead for growth and change over time.

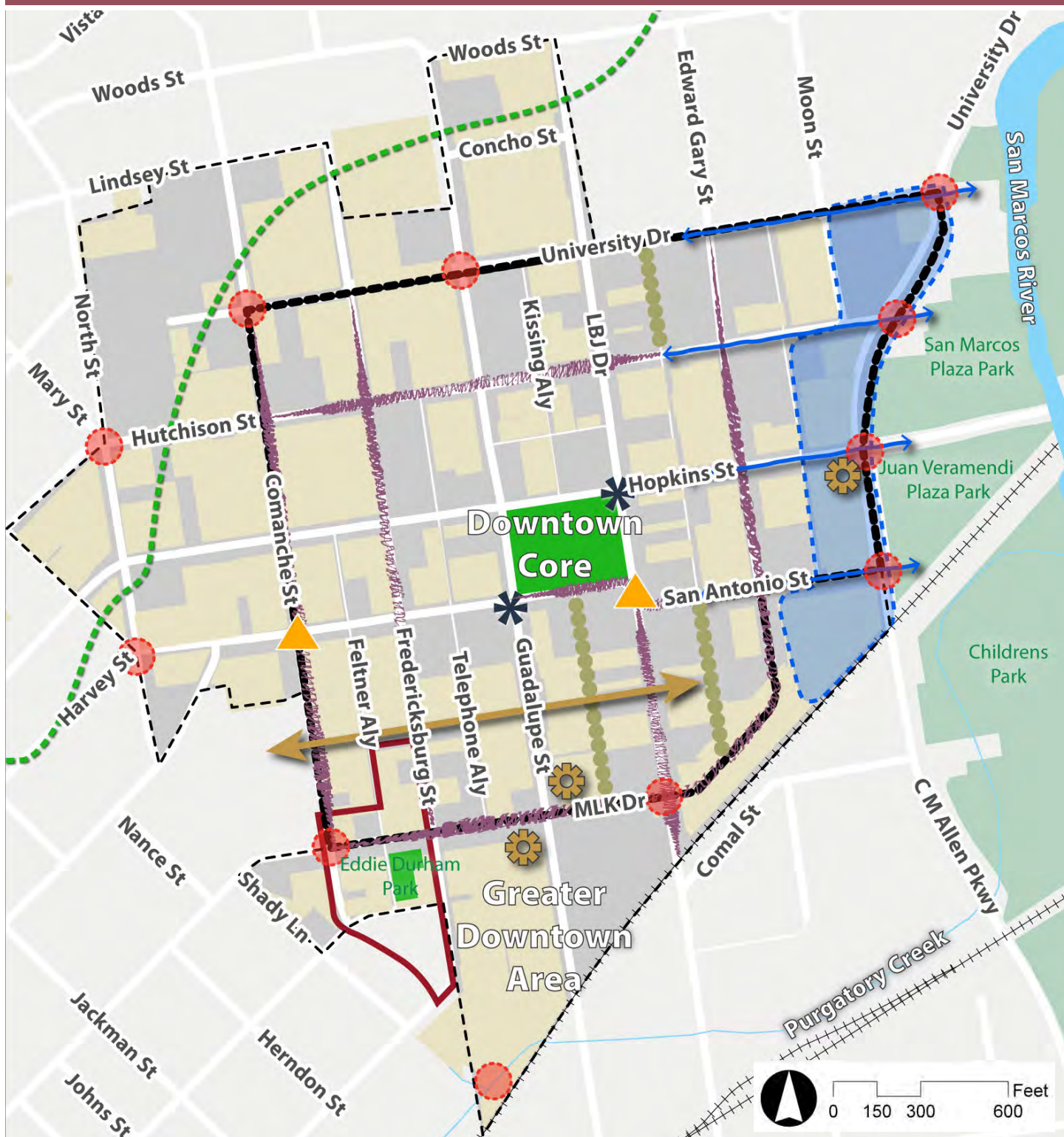


Strengthen Downtown's unique identity through an atmosphere of eclectic arts, small business, diverse cuisines, recreational opportunities, Historic architecture, and lively events in a riverfront, hill country community.



Better connect Downtown both physically and programmatically to Texas State University, the San Marcos River, and other surrounding neighborhoods.

# DOWNTOWN HIGHLIGHTED RECOMMENDATIONS



## Legend

- Downtown Core
- Greater Downtown Area
- Railroad
- Streets
- River and Creeks
- Parks

- Opportunities for Housing
- CM Allen Parkway District/ Riverfront Park Connections
- Existing Park for Improvement
- New Park Area
- Mid-Block Connections
- Downtown Gateways

- Streetscape Improvements
- ✱ Courthouse Square Transit Stops
- ▲ Priority Intersection Improvements
- Priority Green Alleys
- Infill Development Sites
- Cultural District



# HIGHLIGHTED RECOMMENDATIONS

Chapter 4, Recommendations, is organized by seven key topics with two cross-cutting themes, as listed to the right. Highlights from these topics are included on the map to the left and this page.

1. Downtown Housing Options
2. Building Form & Infill Development
3. Multimodal Connectivity & Parking
4. Priority Streetscape Improvements
5. Public Spaces & Amenities
6. Small Business Support
7. History, Art, & Culture
8. Town/Gown Relations
9. Sustainability



## Opportunities for Housing

Multi-family and mixed-use housing types are the primary products recommended in and near Downtown and “missing middle” housing types (such as townhomes, duplexes, or accessory dwelling units) around the outer edges of Downtown, especially adjacent to existing neighborhoods.

### CM Allen Parkway District/ Riverfront Park Connections

A “CM Allen Parkway District” should be established with the intent of better connecting Downtown to the river and riverfront parks, as well as better utilizing land along CM Allen Parkway facing the riverfront.

### Mid-Block Connections

Mid-block connections and street crossings should be implemented for east/west connections between San Antonio Street and MLK Drive to reduce long road block lengths and travel time for multimodal users.

## Infill Development

Concepts in this section reflect a vision to better utilize privately-owned vacant properties in Downtown while providing development types desired by the community.

### Downtown Gateways

A gateway can be designed in many different ways and serves as a landmark that tells you that you’ve arrived in a new place while expressing the identity of that place.

### Streetscape Improvements

Several Downtown streets should be redesigned to improve safety and comfort for all modes of transportation and to support adjacent businesses.

### Cultural District

A State Cultural District near Eddie Durham Park should be applied for to further support and elevate arts and culture.

## Green Alleys

Additional alleys have been identified as priority alleys for enhancement of pedestrian spaces and sustainability.

### Improvements for Existing Parks and New Park Space

While Downtown is conveniently located near several parks, these existing public spaces could use more/better amenities to serve their users, and a new park in the northwest, especially as Downtown’s resident population grows.

### Courthouse Transit Stops

More convenient transit access should be provided immediately adjacent to the Courthouse Square in the heart of Downtown.

### Intersection Improvements

Improvements to Downtown intersections can increase safety for all modes while contributing to Downtown placemaking.



## Legislation Text

---

**File #:** ID#23-151, **Version:** 1

---

**AGENDA CAPTION:**

Hold a public hearing and consider a recommendation on the "Vision SMTX Comprehensive Plan" and the Preferred Scenario Map.

**Meeting date:** February 28, 2023

**Department:** Planning & Development Services

**Amount & Source of Funding**

**Funds Required:** n/a

**Account Number:** n/a

**Funds Available:** n/a

**Account Name:** n/a

**Fiscal Note:**

**Prior Council Action:** In 2020, City Council provided direction to rewrite the Comprehensive Plan. Council approved a contract with MIG, Inc. for the Vision SMTX Comprehensive Plan and Downtown Area Plan for the amount of \$341,479.66.

**City Council Strategic Initiative:**

Workforce Housing

Workforce Development

Downtown Vitality

**Comprehensive Plan Element (s):**

- ☒ Economic Development - Choose an item.
- ☒ Environment & Resource Protection - Choose an item.
- ☒ Land Use - Choose an item.
- ☒ Neighborhoods & Housing - Choose an item.
- ☒ Parks, Public Spaces & Facilities - Choose an item.
- ☒ Transportation - Choose an item.
- ☒ Core Services
- ☐ Not Applicable



**Master Plan:**

Vision San Marcos - A River Runs Through Us

**Background Information:**

The City Council provided direction to rewrite the City's current comprehensive plan, Vision San Marcos, originally adopted in 2013. The Vision SMTX Comprehensive Plan kicked off in 2020 and is a vision and policy document intended to guide the growth and evolution of the City for the next 20-30 years. The Draft Plan includes the community's vision for topics such as housing, transportation, arts and culture, land use, economic development, parks, community character, and preferred growth and the types of places created for our community.

The Plan development has included significant engagement from the public, stakeholders, and organizations in San Marcos throughout the planning process. Combined, the projects have received over 3,000 community comments throughout the plan development and represent over 100 meetings and engagement events. The Comprehensive Plan is an instrumental document in defining and achieving the community's vision for the future. As a growing community, these plans are tools to be used by city leaders, businesses, organizations, and residents for the next 10-20 years and will help shape future programs, projects, policies, regulations, and provide a foundational document that can be used to seek funding and grants for initiatives.

Comments were collected on the Public Review Draft during the month of January and have been incorporated into the Final Draft of the Plan being considered by the Commission.

- The Final Vision SMTX Comprehensive Plan can be downloaded at the following link:  
[https://www.visionsmtx.com/wp-content/uploads/2023/02/VisionSMTX\\_FinalDraft\\_02.16.23\\_.pdf](https://www.visionsmtx.com/wp-content/uploads/2023/02/VisionSMTX_FinalDraft_02.16.23_.pdf)
- The Appendix to the Plan includes documentation of plan and policy development discussed by the Comprehensive Plan Steering Committee. The Appendix can be downloaded at the following link:  
[https://www.visionsmtx.com/wp-](https://www.visionsmtx.com/wp-content/uploads/2023/02/VisionSMTX_FinalDraft_02.16.23_.pdf)
- A paper copy of the Plan can be requested by emailing [planninginfo@sanmarcostx.gov](mailto:planninginfo@sanmarcostx.gov)

**Council Committee, Board/Commission Action:**

The Commission received an informational presentation on the Downtown Area Plan at their February 14, 2023 meeting.

**Alternatives:**

n/a

**Recommendation:**

Staff recommends **approval** of the plan as presented. **Six** affirmative votes are required to recommend approval of this item.





## **Vision SMTX Comprehensive Plan Rewrite**

Hold a public hearing and consider adoption of the “Vision SMTX Comprehensive Plan” as the Comprehensive Plan of the City of San Marcos; adopting the Preferred Scenario Map therein as the future land use map of the City; repealing the adoption of the previous Comprehensive Plan, “Vision San Marcos: A River Runs Through Us”; repealing the associated Preferred Scenario Map designations and providing new associated designations from the Preferred Scenario Map; including procedural provisions; and providing an effective date.



# Comprehensive Plan Rewrite

Planning & Zoning Commission Public Hearing  
February 28, 2023



In association with: TJKM TRANSPORTATION CONSULTANTS | ECONOMIC & PLANNING SYSTEMS

The City of San Marcos | Comprehensive Plan Rewrite 2





# About the Comprehensive Plan



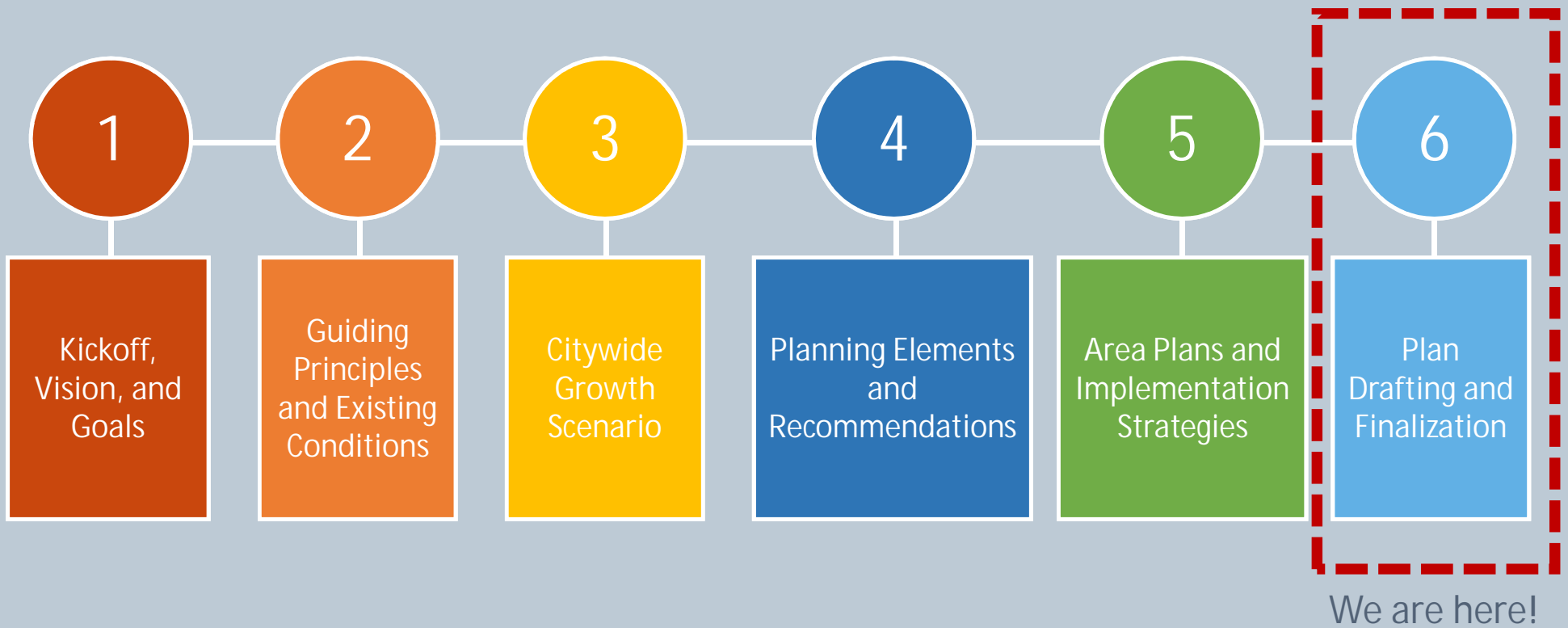
- 2013: Vision San Marcos, A River Runs Through Us
- 2020: Council direction to rewrite the Comprehensive Plan, Vision SMTX

## Role of the Plan

- Establish the vision, goals, and policy direction for the next 20 years
- Establish an umbrella document that will integrate high level direction from past and current planning efforts.
- Establish the types of neighborhoods and districts we want moving forward.
  - What types of housing, workplaces, and shopping do we want and where should they go?
  - What amenities and infrastructure do these places need?
- Provide an implementation strategy with specific phasing and action items.

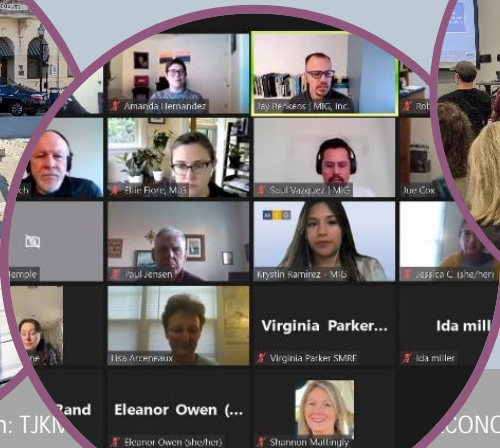


# The Process





# The Participants



With: TJKN

Eleanor Owen (...)



Shannon Mullins

ECONOMIC & PLANNING SYSTEMS

The City of San Marcos





# The Vision

“ San Marcos is a community of diverse and inclusive neighborhoods that protects and celebrates the river and other rich natural, historical and cultural assets; embraces its small-town feel, charm and quality of life; and leverages strategic development to continue building a sustainable community with enhanced access and opportunities for people and businesses. ”



# Our Guiding Principles

Sustainable & Resilient

Equitable, Diverse, & Inclusive

Unique & Complete

Supported & Connected

Strategic & Complementary





# The Plan Elements & Policy Framework

- Arts & Culture
- Economic Development
- Environment & Resource Protection
- Housing & Neighborhoods
- Land Use + Community Design & Character
- Parks, Public Spaces + Health, Safety, & Wellness
- Transportation

**GOALS**  
What do we want to accomplish?

**POLICES**  
How can we reach our goals?

**OBJECTIVES**  
How will we know if we're successful?

# ARTS AND CULTURE (AC)

Big Ideas: A critical component of the community's future is the continued advancement of artistic and cultural identity.





## ECONOMIC DEVELOPMENT (EC)

Big Ideas: It's important for San Marcos to support its existing local employers and small businesses, as well as existing growth sectors, while also attracting new businesses to grow and diversify its employment base.



## ENVIRONMENT & RESOURCE PROTECTION (ENV)

Big Ideas: Sustainable development is development that meets the needs of the present without compromising the resources needed for future generations to meet their own needs.

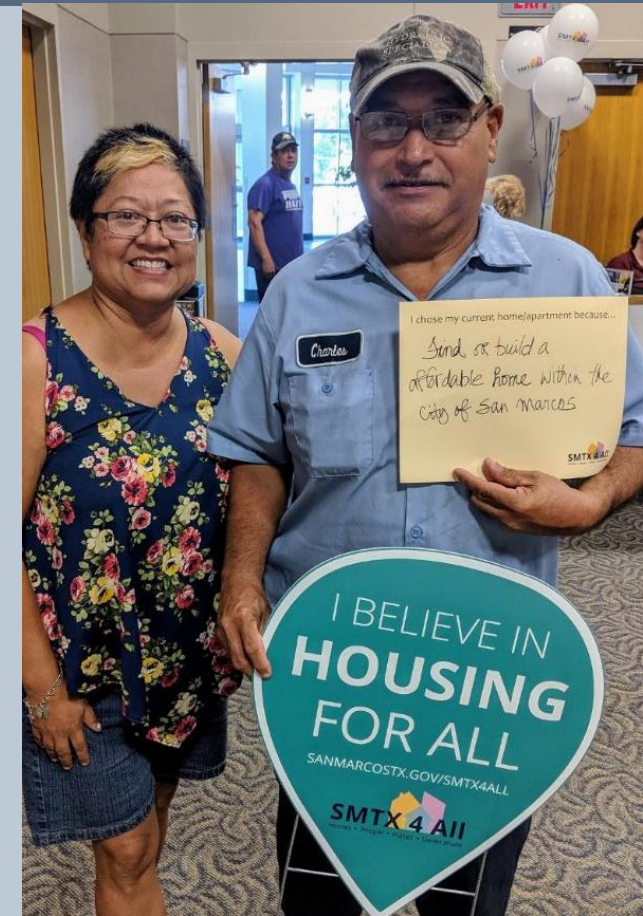
San Marcos seeks to incorporate environmentally sustainable development practices to achieve balanced growth





## HOUSING & NEIGHBORHOODS (HN)

Big Ideas: Both existing and new areas of housing should create more inclusive and equitable spaces that accommodate residents of varying incomes, housing types, transportation needs, ages, and ability levels.



## LAND USE + COMMUNITY DESIGN & CHARACTER (LU)

Big Ideas: A balanced future with equitable and strategic provision and distribution of housing, promotion of different types of businesses, and considerations for environmental impacts will help San Marcos continue to be an innovative, prosperous, and attractive community.





## PARKS & PUBLIC SPACE + HEALTH, SAFETY & WELLNESS (PPS)

Big Ideas: By enhancing access and expanding opportunities for active and healthy living, San Marcos will continue to be a highly desirable community that promotes and achieves high levels of resident well-being, satisfaction, and quality of life.



## TRANSPORTATION (TR)

Big Ideas: An integrated multimodal transportation network will provide San Marcos with safe and inviting intra- and inter-city pedestrian, bicycle, vehicular, and transit connections that will advance resident access and promote a more inclusive and equitable city and region.





# A new Draft Preferred Growth Scenario Map

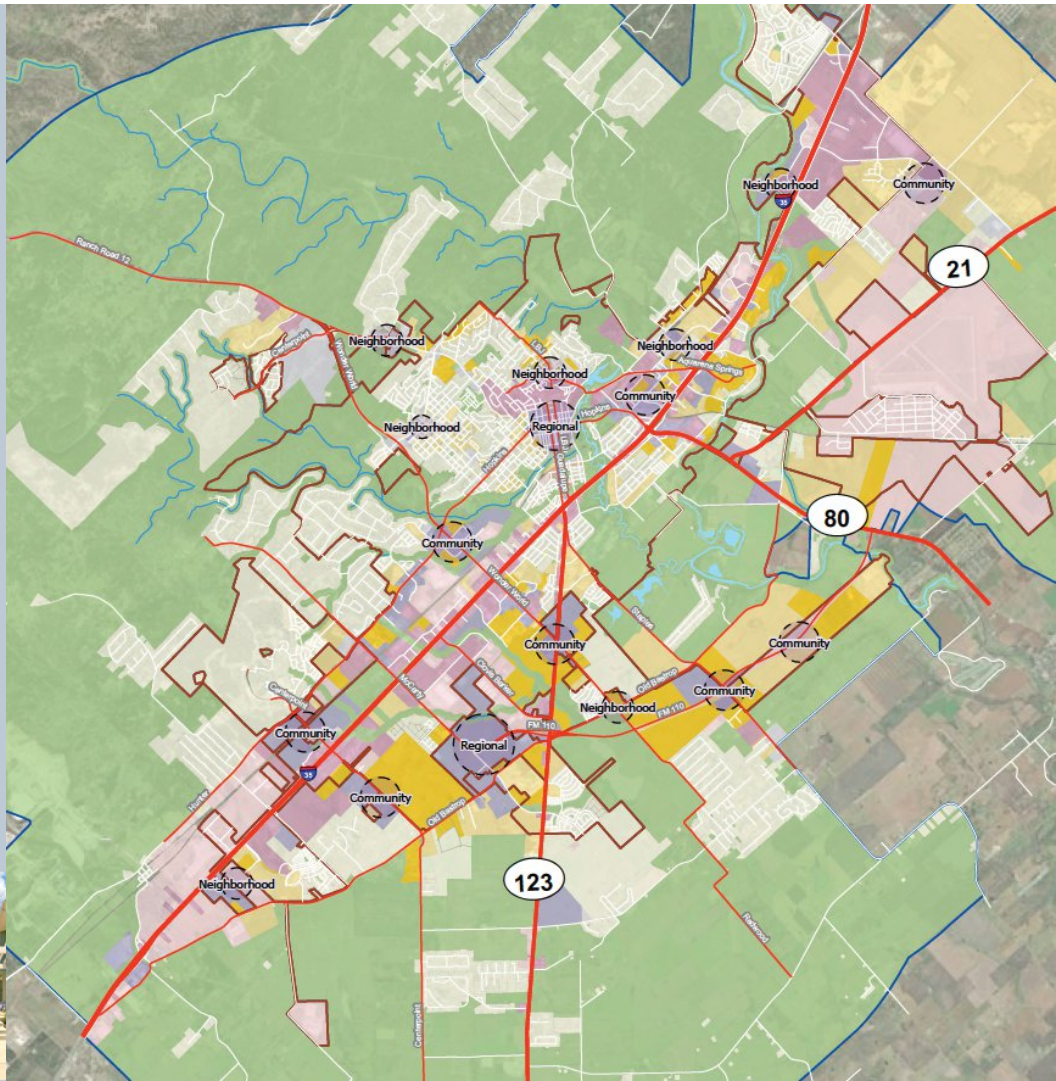


- Appropriate transitions between mixed use, non-residential development types achieved through both use and built form;
- Areas for existing neighborhoods and new traditional neighborhoods;
- Areas to facilitate commercial and employment opportunities; and
- Identified areas for conservation and reservation of land.
- The Draft Map features a new color palette which represent different kinds of places.

## Draft Preferred Scenario

-  Neighborhood - High
-  Neighborhood - Medium
-  Neighborhood - Low
-  Neighborhood Transition
-  Mixed Use - Medium
-  Mixed Use - Low
-  Commercial/Employment Medium
-  Commercial/Employment Low
-  Conserve/Reserve

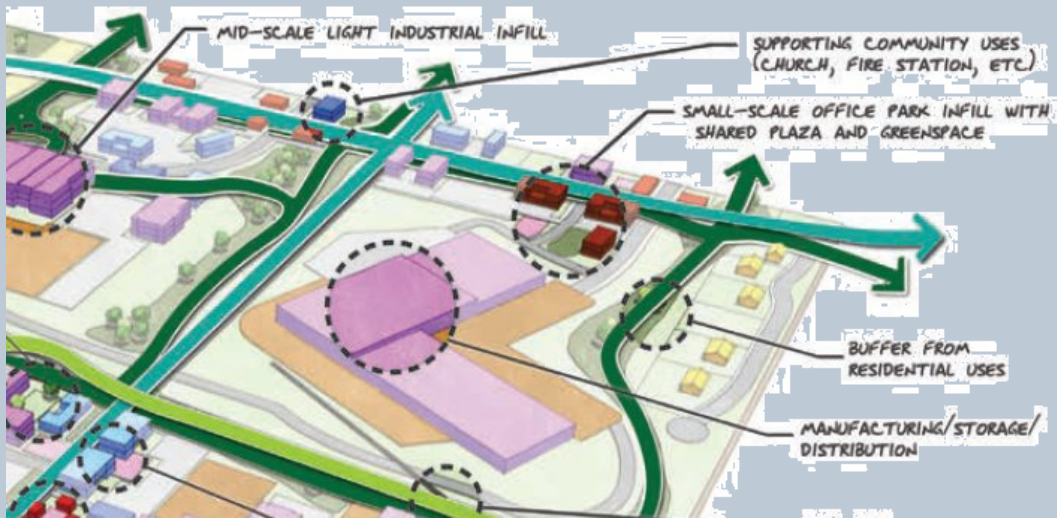
- The creation of centers in strategic locations which serve the community at different scales: regional, community, and neighborhood;
- Mixed use areas along key roadways and intersections;
- Smaller commercial centers that are walkable and near neighborhoods so that residents have convenient, safe, and equitable access to services;





# Types of Places Created

Holistic approach to a place that incorporates guidance for land use, transportation, layout, design, and more + visual guidance



# Area Planning

- To have more localized conversations to address needs in smaller geography areas
- 4 Area Plans in progress + Neighborhood Character Studies
- Template for Future Plans





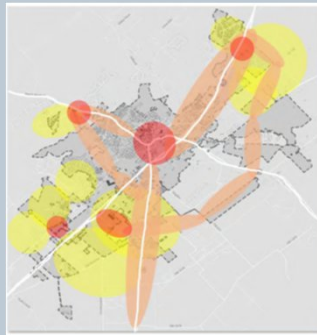
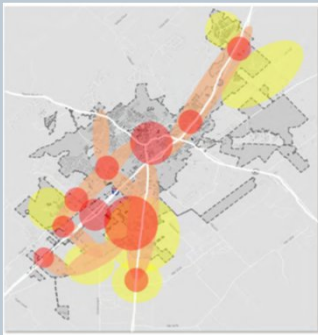
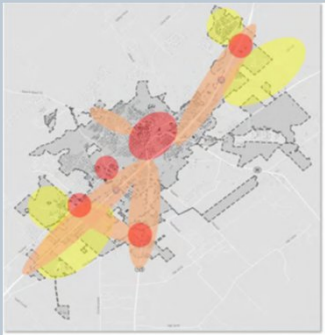
# The Implementation

- Ways to realize the community's vision
- Strategic & action plans, projects, programs
- Capital Improvement Plan
- Fiscal Considerations
- Organizational capacity & coordination
- Implementation Oversight Committee



# The Appendix

- Consolidated Metrics
- Fiscal Impact Analysis
- Creation of Planning Elements
- Preferred Scenario Development





# What are you most excited about with the Vision SMTX Comprehensive Plan?



- I'm glad there are plans in place to sustainably accommodate San Marcos rapid growth!
- They will create a better environment for everyone specifically housing and land use. Most excited about is the environmental and resource protection.
- I like the focus on sustainability.
- 15 min walkable neighborhoods. Love the community clusters. Bus routes and bike routes. Shared family spaces that are trail oriented.
- I like the talk about density/housing types. Please implement it where auto use isn't necessary.



# The Adoption Schedule

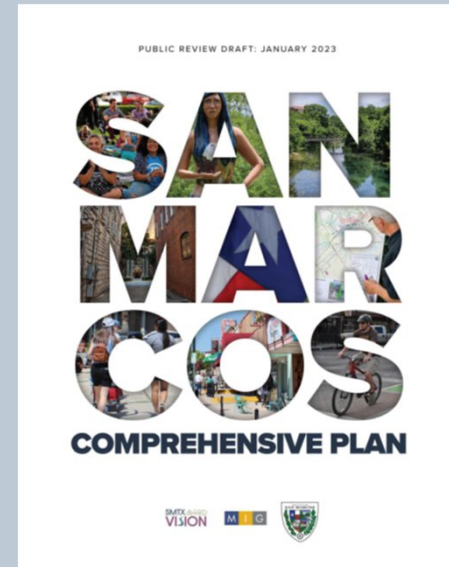


## Past Adoption Proceedings:

- City Council Info Meeting & Neighborhood Presentation: February 7
- Planning & Zoning Info Meeting: February 14
- Neighborhood Commission Info Meeting: February 15

## Upcoming Adoption Proceedings:

- Planning & Zoning Public Hearing: February 28 (today)
- City Council Public Hearing: March 21
- City Council Public Hearing & Action: April 4
- City Council Final Consideration: April 18





# Following Adoption

- Update the Development Code
- Complete Area Plans in-progress and kickoff additional Area Plans
- Update the Transportation Master Plan
- Incorporate the Comprehensive Plan into the Capital Improvement Plan project selection process
- Evaluate projects, plans, and policies for short-term implementation
- Create Implementation Committee & Tracking Worksheet





## Staff Recommendation

Staff recommends **approval** of the Vision SMTX Comprehensive Plan & Preferred Growth Scenario Map as presented.



# Vision SMTX Comprehensive Plan



## Summary

<b>Request:</b>	Consider adoption of the 2023 Vision SMTX Comprehensive Plan and the adoption of a new Preferred Growth Scenario Map.
-----------------	---

## Notification

<b>Application:</b>	January 25, 2023	<b>Neighborhood Presentation:</b>	February 7, 2023
<b>Published:</b>	February 12, 2023	<b>Response:</b>	None as of the date of this report

## Staff Recommendation

<u>X</u>	Approval as Submitted	Alternate Approval	Denial
<b>Staff:</b> Andrea Villalobos, AICP, CNU-A <b>Title:</b> Planning Manager <b>Date:</b> February 22, 2023			

The following Criteria are from Chapter 2, Division 2 of the San Marcos Development Code.

Evaluation			Criteria for Approval (Sec.2.4.2.4)
Consistent	Inconsistent	Neutral	
<u>X</u>			Whether the proposed amendment is consistent with other policies of the Comprehensive Plan;  <b><i>The Vision SMTX Comprehensive Plan provides updated vision, goals, and policies for the community over the next 20 years.</i></b>
		<u>N/A</u>	Whether the proposed amendment is consistent with any adopted small area plan or neighborhood character study for the area;  <b><i>Studies are in-progress as part of this Vision SMTX Comprehensive Plan, but are not complete at the time of the request. The Downtown Area Plan is currently being considered for adoption.</i></b>
<u>X</u>			Whether the proposed amendment promotes the orderly and efficient growth and development of the community and furthers the public health, safety and general welfare of the City;  <b><i>The Vision SMTX Comprehensive Plan includes an updated Preferred Growth Scenario Map which will replace the existing Preferred Scenario Map to provide better direction for land uses as well as built form, mobility, parks, and amenities by designating different Place Types.</i></b>

# Vision SMTX Comprehensive Plan



<u>X</u>		<p>Whether the proposed amendment corrects an error or meets the challenge of some changing condition, trend, or fact;</p> <p><b><i>San Marcos, like all cities, is a living organism that is constantly changing and growing either through physical growth, economic growth, or societal growth. The Vision SMTX Comprehensive Plan is a critical tool used to guide that growth appropriately.</i></b></p>
<u>X</u>		<p>Whether the proposed amendment constitutes a substantial benefit to the City as a whole and is not solely for the good or benefit of a particular landowner or owners at a particular point in time;</p> <p><b><i>The Vision SMTX Comprehensive Plan process was developed through over 100 meetings and events, hundreds of participants, and includes over 4,000 community comments. The Plan as proposed creates a vision for the future of San Marcos that is inclusive of all backgrounds, perspectives, and ways of life.</i></b></p>
<u>X</u>		<p>Whether the proposed amendment will impact: a) adjacent properties; b) existing or future land use patterns; c) existing or planned public services and facilities; d) existing or planned transportation networks or greenways; e) the natural environment, including quality and quantity of water and other natural resources, flooding, and wildlife management</p> <p><b><i>The Vision SMTX Comprehensive Plan creates updated vision, goals, and policies which:</i></b></p> <ul style="list-style-type: none"> <li>• <b><i>Provide transitions and orderly development of land uses;</i></b></li> <li>• <b><i>Allocate future land use patterns to accommodate San Marcos growth over the next 20 years while preserving natural spaces and vacant farmland;</i></b></li> <li>• <b><i>Considers future public services and facilities to accommodate current and future resident needs;</i></b></li> <li>• <b><i>Prioritizes multimodal transportation networks and greenways throughout various Place Types and policies;</i></b></li> <li>• <b><i>Further and enhances the quality and preservation of natural and environmental resources by strategically accommodating growth.</i></b></li> </ul>